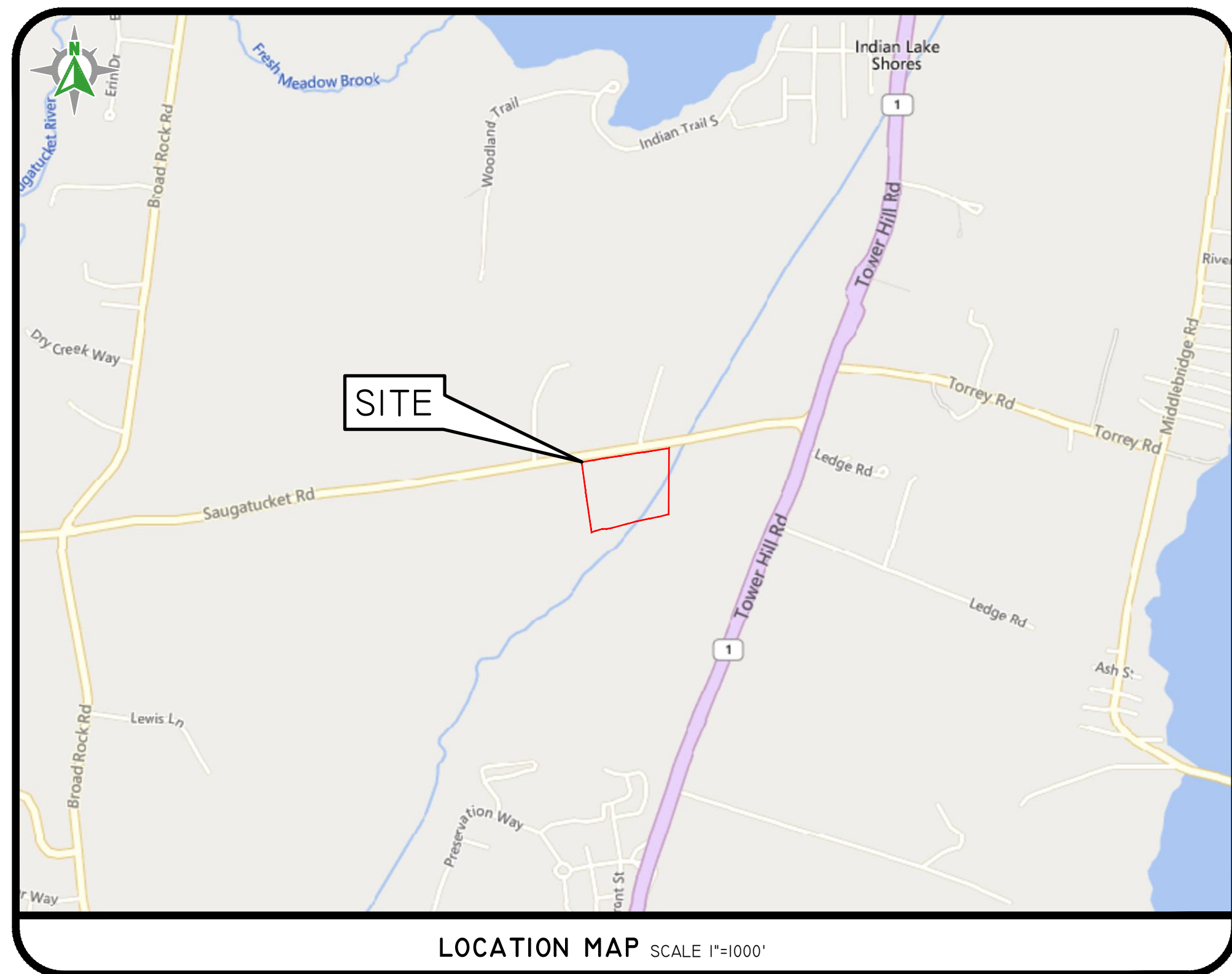


PRELIMINARY SUBMISSION

SAUGATUCKET ACRES

176 SAUGATUCKET ROAD
SOUTH KINGSTOWN, RHODE ISLAND
ASSESSOR'S PLAT 42 LOT 9



SHEET INDEX

- 1 COVER SHEET
- 2 HALF-MILE RADIUS & USGS MAP
- 3 NOTES & LEGEND
- 4 EXISTING CONDITIONS
- 5 SOIL EROSION & SEDIMENT CONTROL PLAN
- 6 SITE LAYOUT PLAN
- 7 GRADING, DRAINAGE & UTILITIES PLAN
- 8 POND COMPLEX A
- 9 DETAIL SHEET
- 10 LANDSCAPE PLAN
- 11 RECORD PLAN

PERMITS:

FRESHWATER WETLANDS PERMIT FWW 24-0276 RIPDES NO. RIRI02734 RECEIVED: 2/14/2025
RIDEM OWTS SITE SUSTAINABILITY NO. 2232-1533 RECEIVED: 3/28/2025
VEOLIA WATER APPROVAL RECEIVED: 6/12/2025

MASTER PLAN CONDITIONS OF APPROVAL:

1. THIS APPROVAL IS LIMITED TO FIVE (5) LOTS IN TOTAL.
2. ALL LOTS SHALL BE SERVICED BY PUBLIC WATER AND ONSITE WASTEWATER TREATMENT SYSTEMS (OWTS).
3. ACCESS TO THE FIVE (5) LOTS, AS DEPICTED ON THE PLAN, SHALL BE PROVIDED BY A SHARED ACCESS DRIVEWAY UTILIZING THE EXISTING DRIVEWAY AND CURB CUT ON SAUGATUCKET ROAD. NO OTHER CURB CUTS SHALL BE PERMITTED. IN SUPPORT OF THIS CONDITION THE APPLICANT SHALL RECORD A RESTRICTIVE EASEMENT PROHIBITING ADDITIONAL DRIVEWAY CUTS ON LOTS 1 AND 5. THE EASEMENT LANGUAGE SHALL BE REVIEWED AND APPROVED BY THE AO IN CONSULTATION WITH LEGAL COUNSEL. ANY REQUIRED ACCESS EASEMENT AREAS, ALONG WITH ASSOCIATED DRAFT EASEMENT LANGUAGE, SHALL BE DELINEATED ON THE PLANS AND INCLUDED WITH THE FUTURE PRELIMINARY PLAN APPLICATION SUBMISSION.
4. ALL CONDITIONS AND RECOMMENDATIONS MADE BY THE TRC SHALL BE INCORPORATED IN THE PLANS AND INFORMATION TO BE SUBMITTED WITH THE FUTURE PRELIMINARY PLAN APPLICATION SUBMISSION. THE APPLICANT SHALL BE ALLOWED TO PROVIDE A FIRE APPARATUS TURNAROUND AREA WITHIN LOTS 2, 3, AND 4 UTILIZING LOADBEARING STRUCTURE SUCH AS GRASSPAVE II.
5. SURVEY MONUMENTATION SHALL BE SHOWN ON THE SITE PLAN FOR EACH PARCEL INTERSECTION ALONG THE STREET AND AT ANY INTERSECTION OR DIRECTIONAL CHANGE OF PARCEL BOUNDARIES TO THE SATISFACTION OF THE ADMINISTRATIVE OFFICER. SAID MONUMENTATION SHALL BE (1) SHOWN ON THE PLAN TO BE SUBMITTED WITH THE PRELIMINARY PLAN APPLICATION, AND (2) SHALL BE INSTALLED IN THE FIELD AND IDENTIFIED ON THE PLAN TO BE SUBMITTED WITH THE FINAL PLAN APPLICATION. THE TYPE, NUMBER AND LOCATION OF MONUMENTATION SHALL BE SUBJECT TO THE APPROVAL OF THE ADMINISTRATIVE OFFICER AS PART OF THE PRELIMINARY PLAN APPROVAL.
6. THE APPLICANT SHALL PROVIDE DETAILED EASEMENT LANGUAGE ASSOCIATED WITH THE ESTABLISHMENT OF AN HOA IN ORDER TO ENSURE THE PROPER INSTALLATION AND MAINTENANCE OF THE SHARED INFRASTRUCTURE REQUIRED FOR THE DEVELOPMENT.
7. THE APPLICANT SHALL SUBMIT A DETAILED LANDSCAPE PLAN TO SOFTEN THE APPEARANCE OF THE ADDITIONAL RESIDENTIAL DEVELOPMENT AS WELL AS SOFTENING THE LOOK OF THE SHARED DRIVEWAY AND FRONTAGE LOTS.

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MOLLY R. TITUS
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER CIVIL

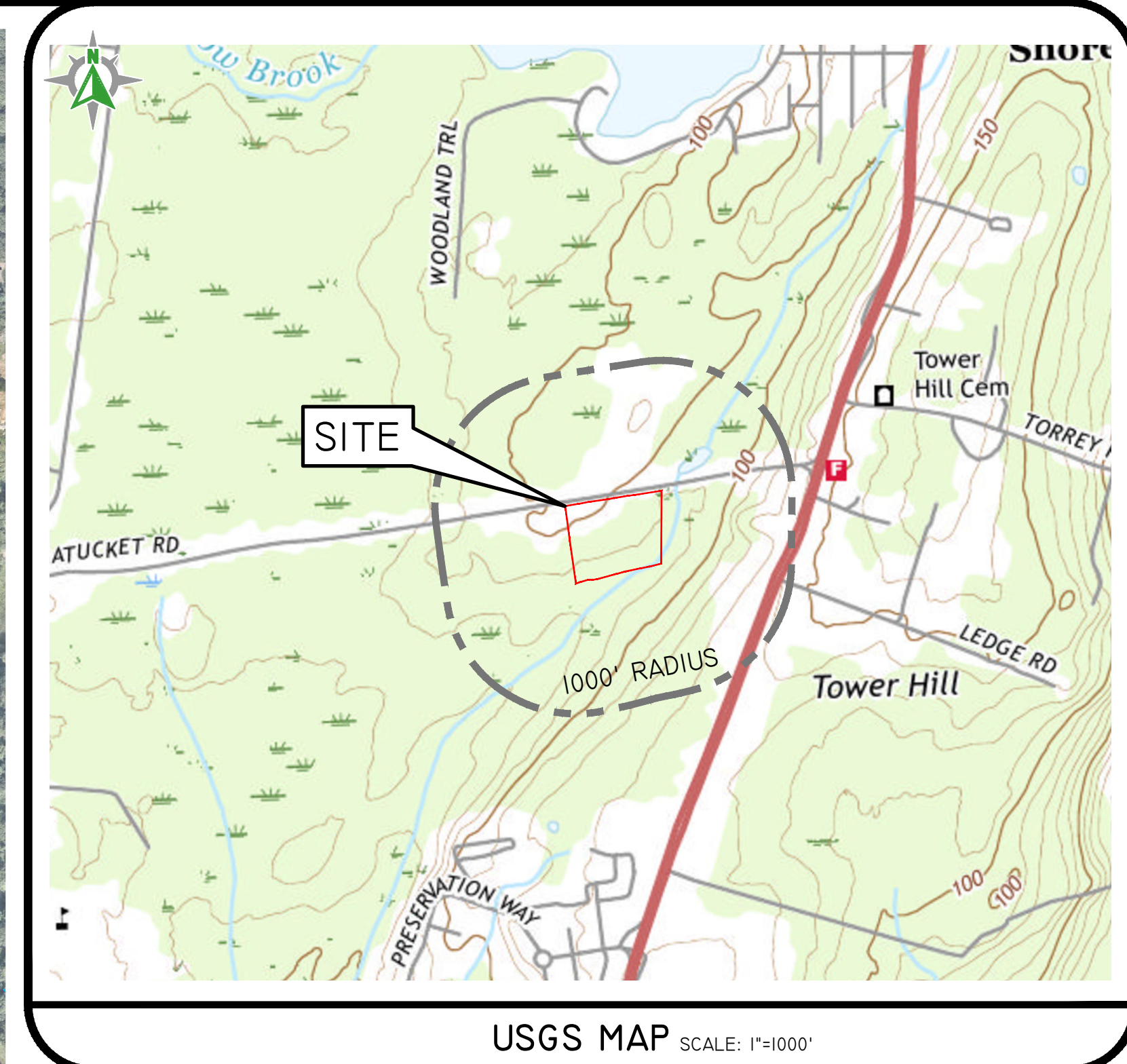
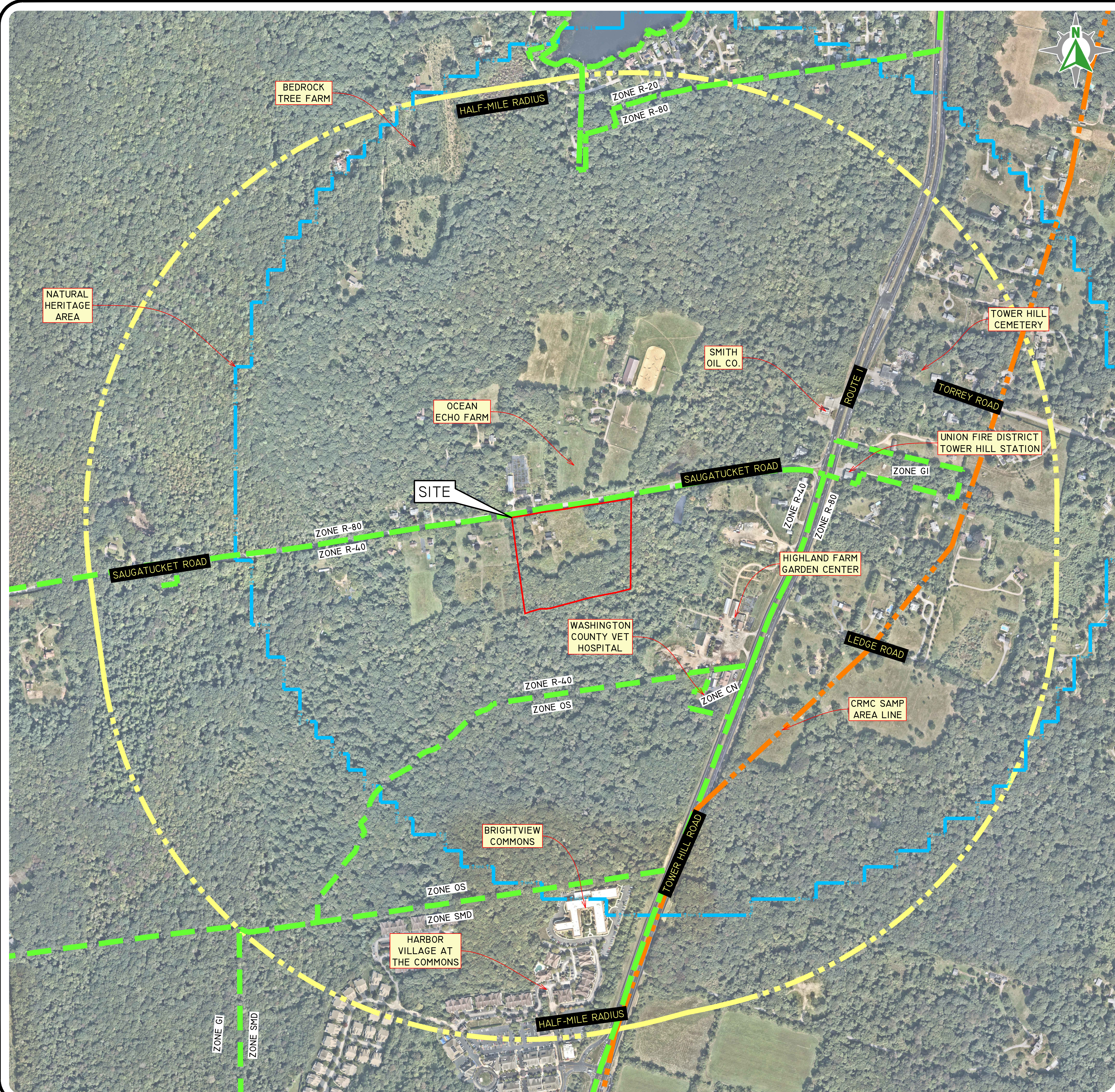
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ENGINEERING, INC. SHALL NOT BE RESPONSIBLE FOR ANY PART OF THE CONSTRUCTION OF THE PROJECT OR FOR ANY DAMAGE TO PERSONS OR PROPERTY. THE CLIENTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, PRELIMINARY SUBMISSIONS, AND OSHA METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR OBTAINING PERMITS OR FOR THE ACCURACY OF ANY UTILITIES. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY:
1	07-16-2025	RESPONSE TO COMMENTS	K.E.D.
2	07-28-2025	RESPONSE TO COMMENTS	K.E.D.
3	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
4	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
5	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
6	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
7	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
8	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
9	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
10	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
11	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
12	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.

COVER SHEET
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND
OWNER AND ARCHITECT:
JAE MILLS, LLC.
90 MADISON ST STE 610, WORCESTER, MA 01608
TEL 774-696-3814

SESC / O&M
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

Z:\DEVELOPMENT\PROJECTS\1287-001 SAUGATUCKET ROAD\17A\AUTOCAD DRAWINGS\1287-001-CVAR.DWG PLOT# 7/17/2025



USGS MAP SCALE: 1"=1000'

PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 09/12/2024.
SCALE: 1"=300'
0 150' 300' 600'

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MOLLY R. TITUS
No. [Signature]
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CIVIL

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THE CLIENTS USE OF THE PLANS IS AT THEIR OWN RISK. DIPRETE ENGINEERING ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY CAUSED BY THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR OBTAINING OR VERIFYING THE LOCATION OF ANY UTILITIES. SEE 'UTILITY NOTE' ON SHEET 3.

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HALF-MILE RADIUS & USGS MAP
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND
OWNER AND ARCHITECT:
JAE MILLS, LLC.
90 MADISON ST, STE 610, WORCESTER, MA 01608
TEL 774-696-3814
DRAWN BY: K.E.D.
DESIGN BY: K.E.D.



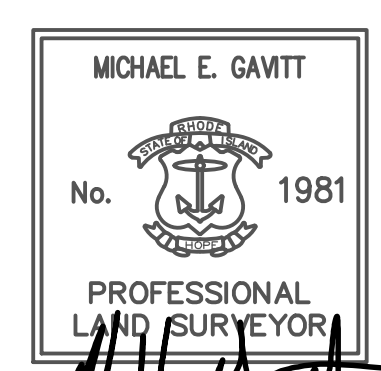
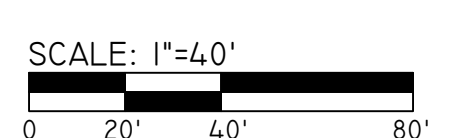
LOCUS MAP Not To Scale

LEGEND

Water Line	123/1234	DEED BOOK/PAGE	BOLLARD
Sewer Line	5	ASSESSOR'S PLAT	SOIL EVALUATION
Sewer Force Main	SPH	HANDICAPPED	CATCH BASIN
Gas Line	E	NOW OR FORMERLY	DOUBLE CATCH BASIN
Electric Line	LC	LANDSCAPING	WATER VALVE
Overhead Wires	OHW	RECORD	GAS VALVE
Drainage Line	(CA)	CHORD ANGLE	B-I WETLAND FLAG
Minor Contour Line	▲	NAIL/PIKE	DRAINAGE MANHOLE
Major Contour Line	▲	DRILL HOLE	FLARED END SECTION
Property Line	—	IRON ROD/PIPE	GUY POLE
Assessors Line	—	BOUND	ELECTRIC MANHOLE
Guardrail	—	SIGN POST	WELL
Retaining Wall	—	SEWER MANHOLE	MONITORING WELL
Stone Wall	—	HYDRANT	BENCH MARK
		IRRIGATION VALVE	TREE
		UNKNOWN MANHOLE	

GENERAL NOTES

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 42, LOT 9 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 1875, PAGE 370 IS JAE MILLS, LLC.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44009C0203K & 44009C0204K, MAPS REVISED APRIL 3, 2023. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED R-0 BASED ON THE TOWN OF SOUTH KINGSTOWN ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND/OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY AND THERE ARE NO CEMETERIES, GRAVE SITES AND/OR BURIAL GROUNDS SHOWN ON THE RHODE ISLAND HISTORICAL CEMETERIES ONLINE DATABASE.
- NO UNIQUE NATURAL FEATURES WERE OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 20, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
- WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY DIPRETE ENGINEERING.



MICHAEL E. GAVITT, R.P.L.S. #1981, COA. L.S. 000A160
7/10/2025

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1-9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 26, 2015, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY (PERIMETER) CLASS I
- TOPOGRAPHIC SURVEY CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.

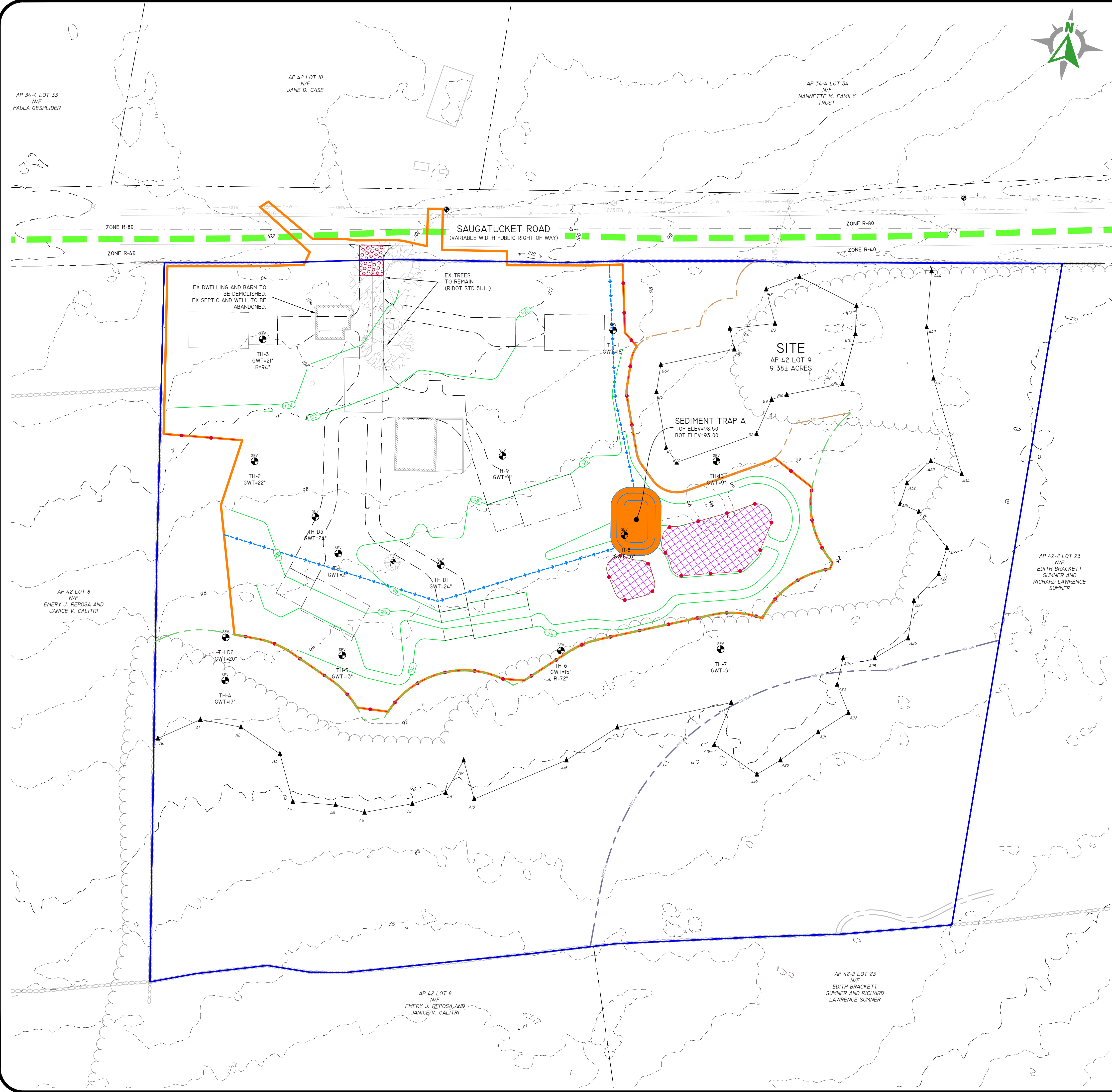
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MOLLY R. TITUS
No. [Signature]
REGISTERED PROFESSIONAL ENGINEER CIVIL

NO.	DATE	DESCRIPTION	S.T.P.	S.P.P.	A.U.P.	B.T.
1	07/10/2025	UPDATING OWNER INFO ON TITLE BLOCK				
2	07/17/2025	REPLACING SUBMISSION				
3	07/22/2025	REVISIONS AND TOPOGRAPHIC SURVEY PLAN				

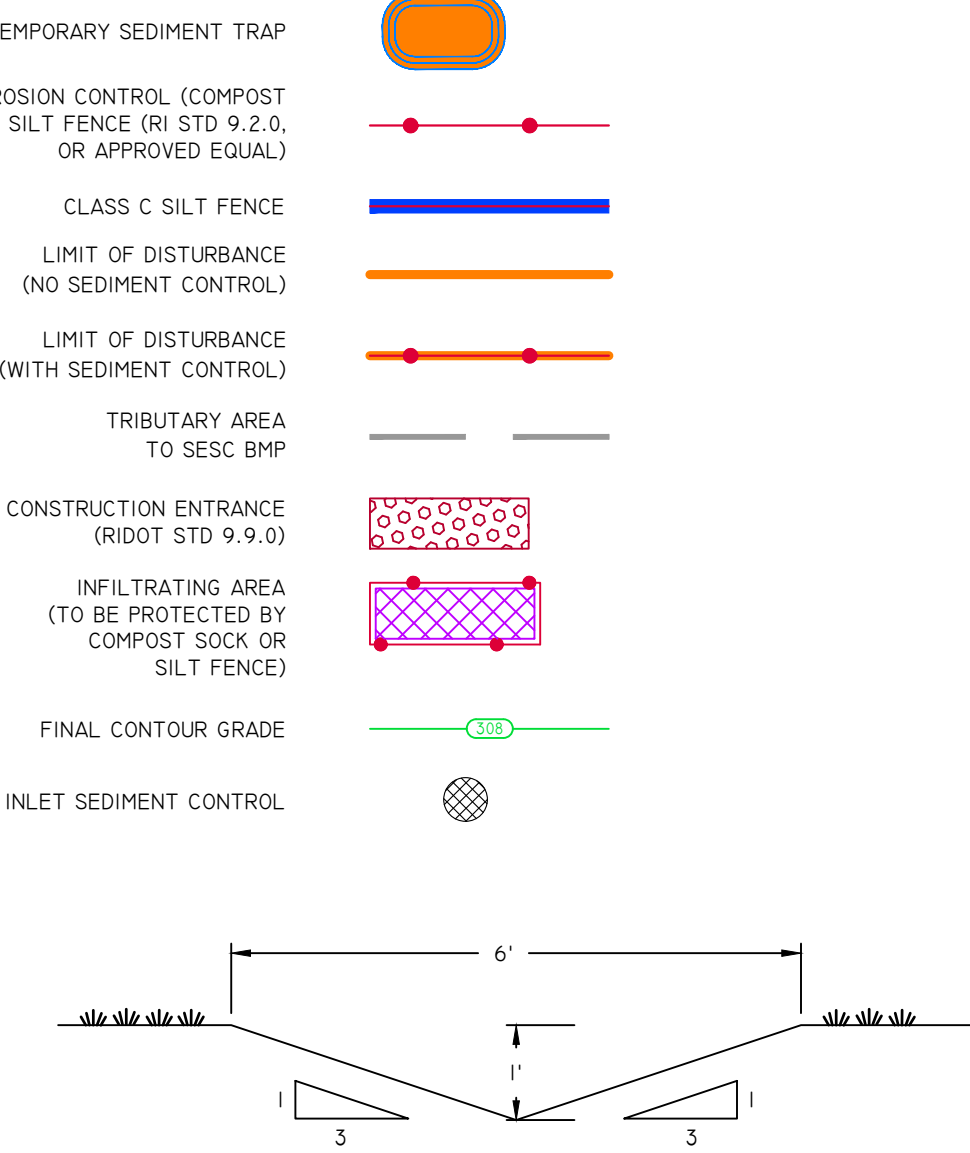
BOUNDARY AND TOPOGRAPHIC SURVEY PLAN
SAUGATUCKET ACRES
ASSESSORS PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND
OWNER AND APPLICANT:
JAE MILLS, LLC.
90 MADISON ST. STE 610, WORCESTER, MA 01608
TEL: 774-696-3814

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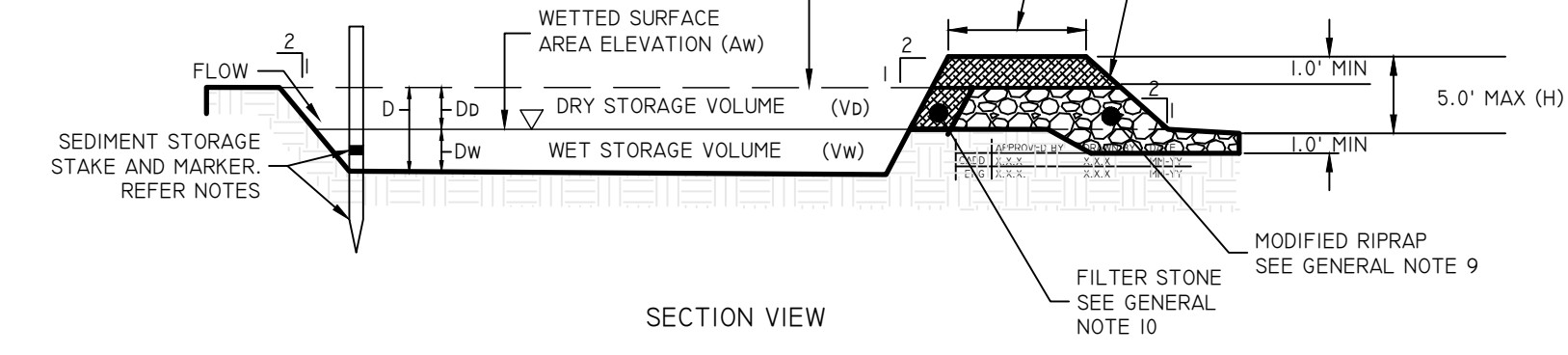
- ### SOIL EROSION CONTROL IMPLEMENTATION PHASING
- PHASE IA - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
 - PHASE IB - INSTALL TEMPORARY SEDIMENTATION TRAP, CONSTRUCT CLEAN WATER DIVERSIONS
 - PHASE IC - CONSTRUCT PROPOSED DIVERSIONS
 - PHASE IIA - CLEAR AND GRUB IMPERVIOUS AREAS, CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS, INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK, INSTALL ASPHALT PAVING.
 - PHASE IIB - STABILIZE ALL DISTURBED AREAS, DE-CONSTRUCT DIVERSIONS AND TEMPORARY SEDIMENTATION TRAPS.
- NOTE - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

- ### SOIL EROSION CONTROL LEGEND
- DIVERSION RUNOFF CONVEYANCE MEASURE (SWALE AND/OR BERM)
 - TEMPORARY SEDIMENT TRAP
 - EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
 - CLASS C SILT FENCE
 - LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
 - LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
 - TRIBUTARY AREA TO SESC BMP
 - CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
 - INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
 - FINAL CONTOUR GRADE
 - INLET SEDIMENT CONTROL



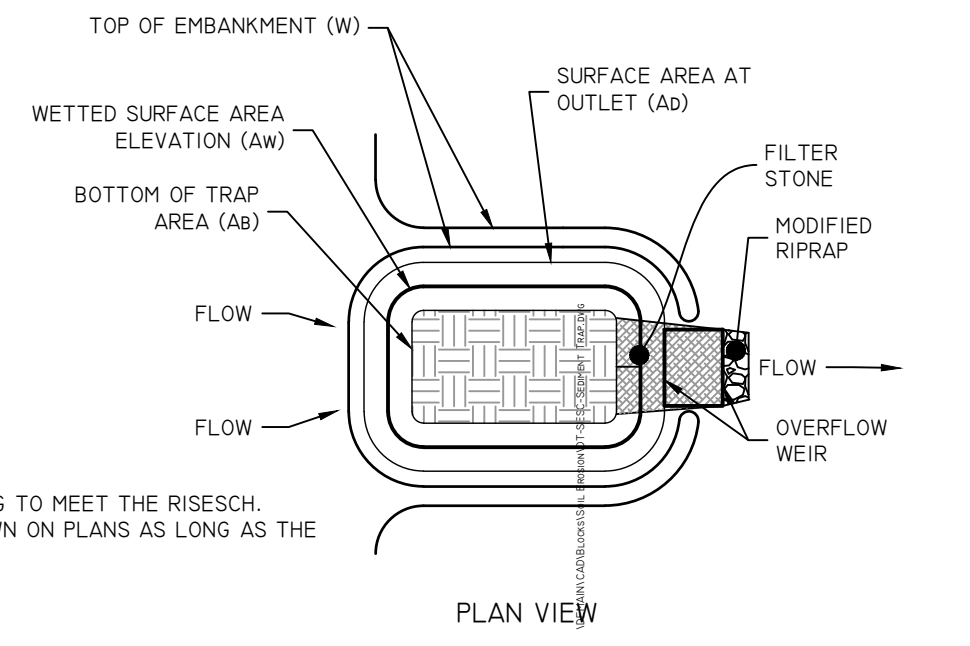
MINIMUM TOP WIDTH VS HEIGHT

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	2.0	2.0	3.0	2.5	3.0	3.0	4.0	4.5



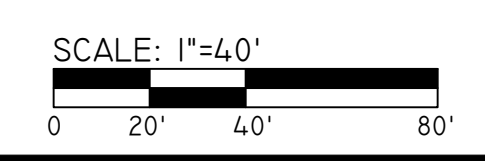
SEDIMENT TRAP DIMENSIONS*

TRAP A	
TRIBUTARY DRAINAGE AREA (UP TO)	1.97 AC
WET STORAGE DEPTH (Dw)	3.00 FT
DRY STORAGE DEPTH (Dd)	2.50 FT
TOTAL DEPTH (D)	5.50 FT
BOTTOM OF TRAP AREA (Ab)	678 SQ.FT
WETTED SURFACE AREA (Aw)	1,400 SQ.FT
SURFACE AREA AT OUTLET (Ao)	2,174 SQ.FT



*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RIESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

TEMPORARY SEDIMENT TRAP DETAIL
NOT TO SCALE



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MOLLY R. TITUS
No. [Signature]
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CIVIL

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EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR OBTAINING THE LOCATION AND DEPTH OF ALL UTILITIES. SEE "UTILITY NOTE" ON SHEET 3.

NO.	DATE	DESCRIPTION	BY	CHKD.
1	07-16-2024	RESPONSE TO COMMENTS	S.P.	K.E.D.
2	07-23-2024	RESPONSE TO COMMENTS	S.P.	K.E.D.
3	08-13-2024	PRELIMINARY SUBMISSION	S.P.	K.E.D.
4	08-13-2024	DESCRIPTION	S.P.	K.E.D.

DESIGN BY: K.E.D.
DRAWN BY: K.E.D.

SOIL EROSION & SEDIMENT CONTROL PLAN
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND
OWNER AND APPLICANT:
JAE MILLS, LLC.
90 MADISON ST STE 610, WORCESTER, MA 01608
TEL: 774-696-3814

DESIGN NO: 2374848. COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Z:\DEVELOPMENT\PROJECTS\1287-001 SAUGATUCKET ROAD\17A\AUTOCAD DRAWINGS\1287-001\PLAN DWG PLOTTEB 7/17/2025

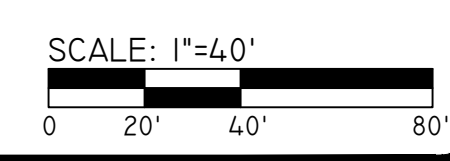
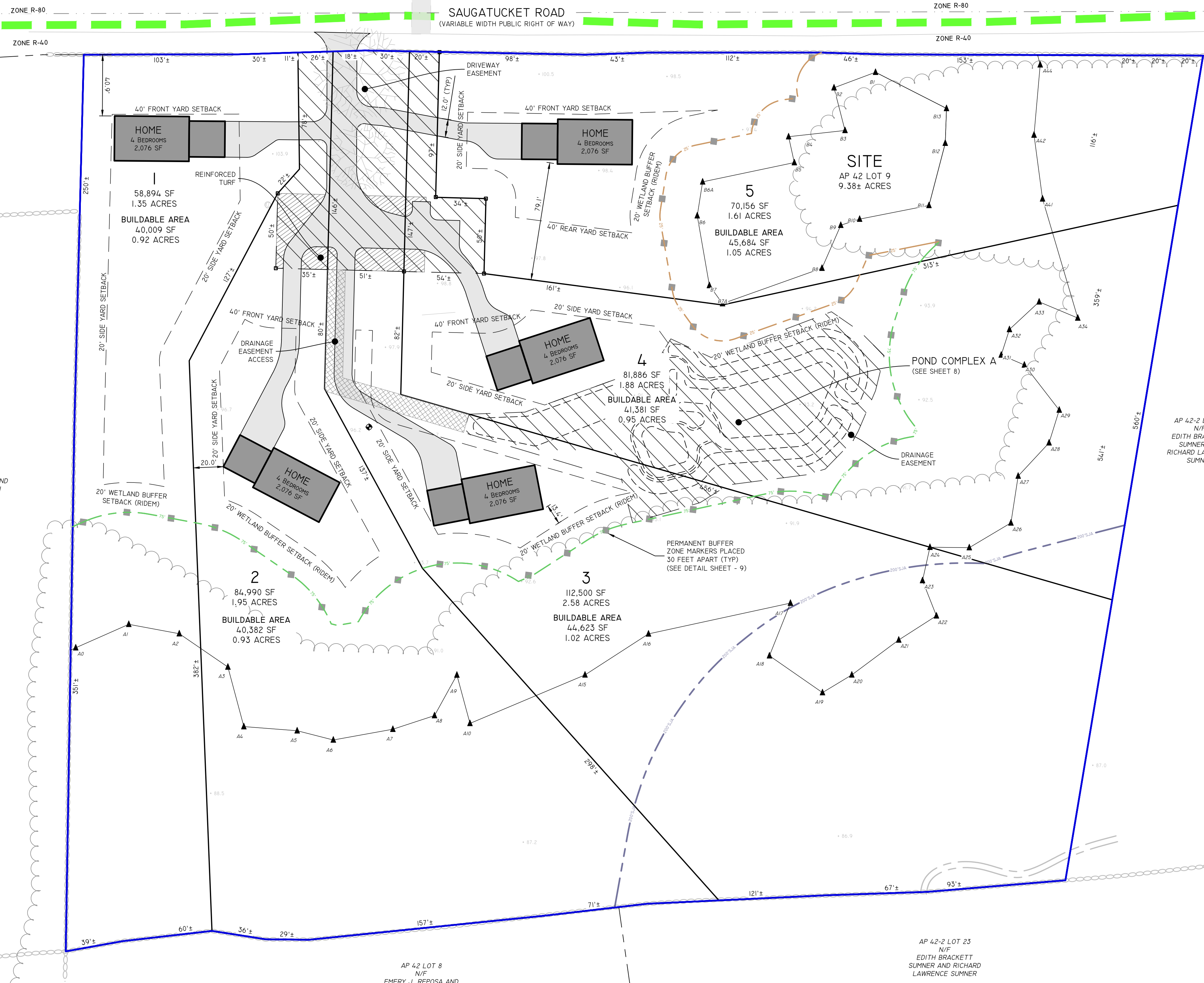


DEVELOPMENT DATA:

TOTAL SITE AREA:	9.38 ACRES
TOTAL NUMBER OF BUILDINGS:	5
TOTAL NUMBER OF UNITS:	5
TOTAL LOT AREA:	9.38 ACRES
AVERAGE LOT AREA:	1.88 ACRES
LAND UNSUITABLE FOR DEVELOPMENT:	
WETLANDS AND STREAMS:	3.70 ACRES
HIGH FLOOD DANGER ZONES:	0.00 ACRES
ABOVE GROUND UTILITY EASEMENT:	0.46 ACRES
TOTAL UNSUITABLE LAND:	0.46 ACRES
TOWN REGULATIONS:	4.16 ACRES

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	R-40	REQUIRED	PROVIDED
MINIMUM LOT AREA:	40,000 SF	40,000 SF	40,009 SF
MINIMUM FRONTAGE AND LOT WIDTH:	150'	150'	20'
MINIMUM FRONT YARD:	40'	40'	40.9'
MINIMUM CORNER SIDE YARD:	30'	NA	NA
MINIMUM SIDE YARD:	20'	20'	20'
MINIMUM REAR YARD:	40'	40'	79.1'
MAXIMUM LOT COVERAGE:	20%	20%	6.1%



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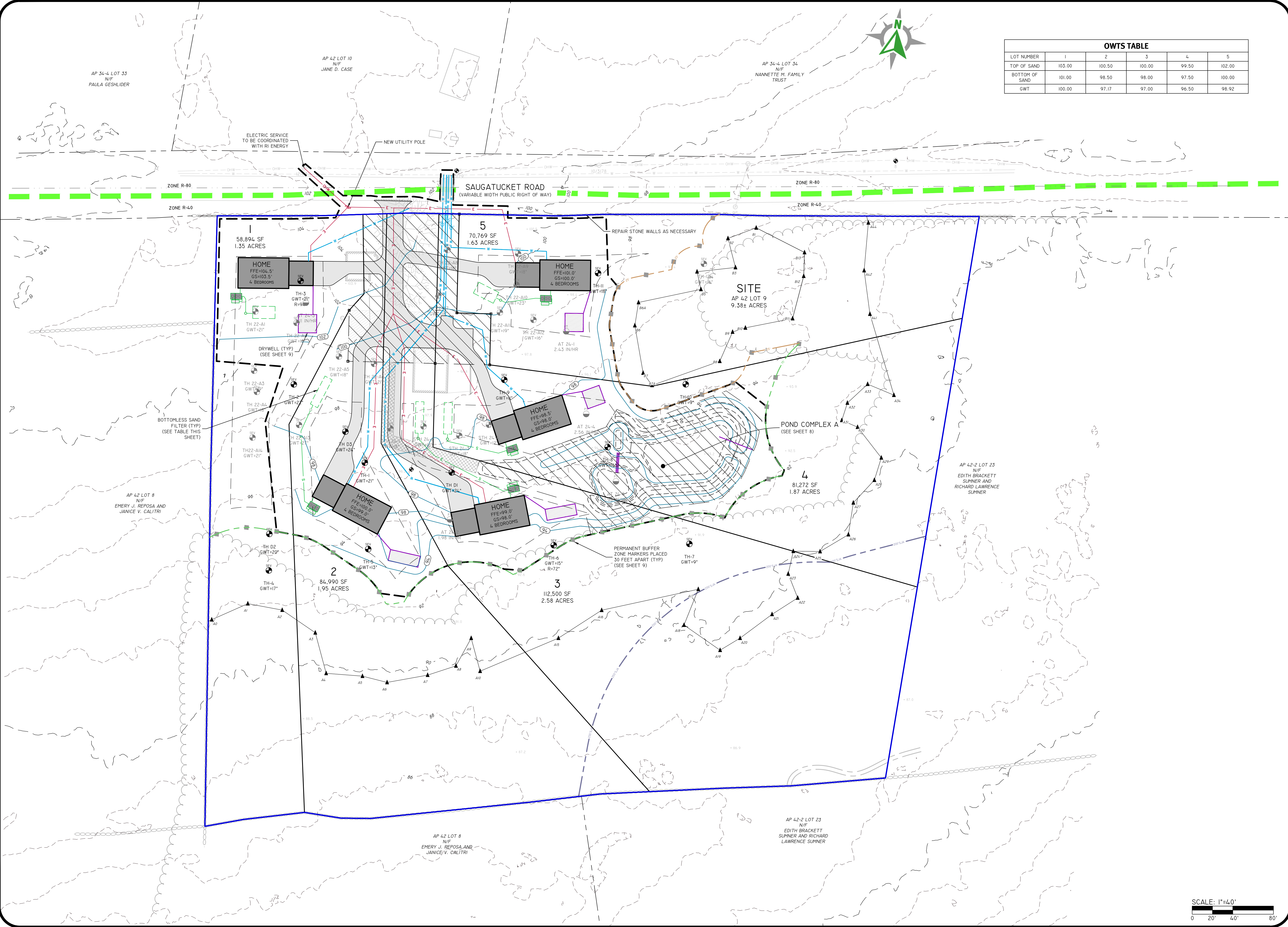
THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES AND NOT FOR ANY OTHER PURPOSES. THE ENGINEER'S LIABILITY IS LIMITED TO THE PROFESSIONAL ENGINEERING AND SURVEYING SERVICES PROVIDED BY THE ENGINEER. THE CLIENTS ASSUME ALL RISKS OF ANY OTHER PARTY. THE CLIENTS ASSUME ALL RISKS OF ANY OTHER PARTY. THE CLIENTS ASSUME ALL RISKS OF ANY OTHER PARTY. THE CLIENTS ASSUME ALL RISKS OF ANY OTHER PARTY. THE CLIENTS ASSUME ALL RISKS OF ANY OTHER PARTY.

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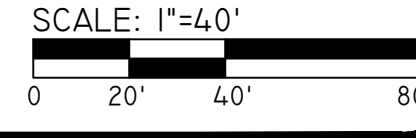
DESIGN BY: K.E.D.

SITE LAYOUT PLAN
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Z:\DEVELOPMENT\PROJECTS\1287-001 SAUGATUCKET ROAD\17A\AUTOCAD DRAWINGS\1287-001\PLAN.DWG PLOT# 7/17/2025



OWTS TABLE					
LOT NUMBER	1	2	3	4	5
TOP OF SAND	103.00	100.50	100.00	99.50	102.00
BOTTOM OF SAND	101.00	98.50	98.00	97.50	100.00
GWT	100.00	97.17	97.00	96.50	98.92



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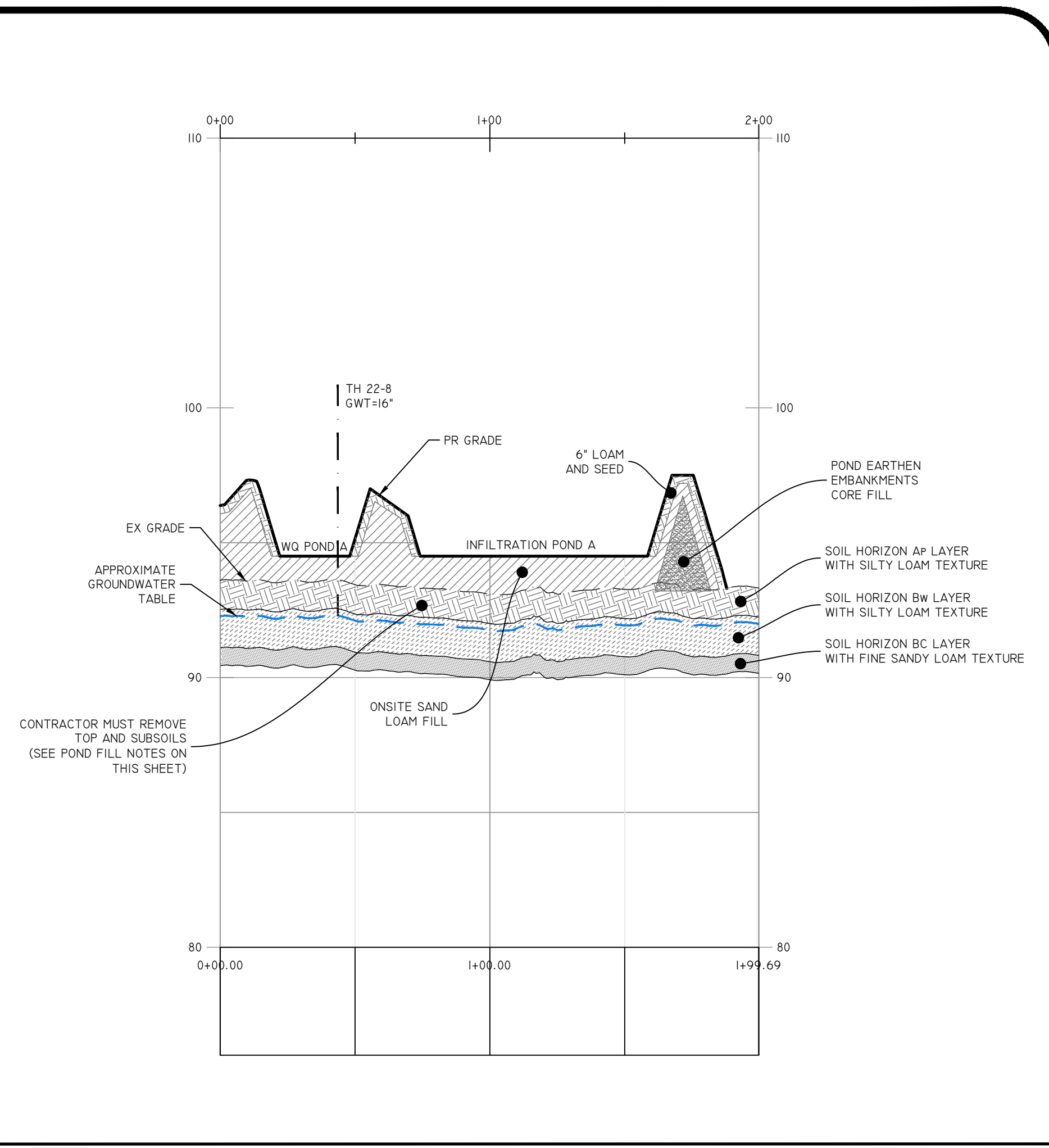
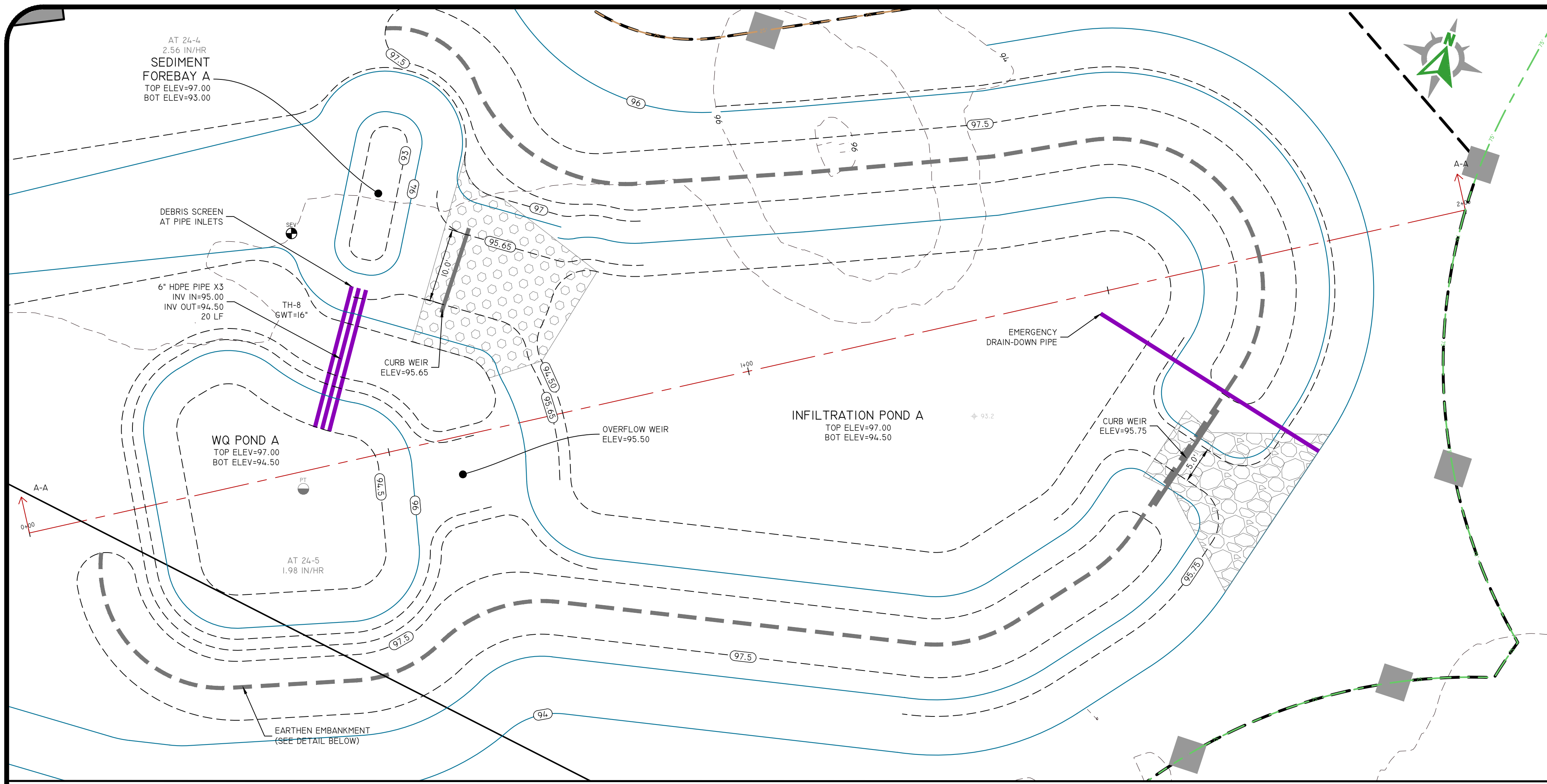


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 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES AND NOT BE REPRODUCED OR COPIED WITHOUT THE WRITTEN PERMISSION OF DIPRETE ENGINEERING. A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING HAS REVIEWED THIS PLAN SET AND HAS DETERMINED THAT IT COMPLIES WITH ALL APPLICABLE REGULATIONS AND REQUIREMENTS. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED BY OTHER PARTIES. THE CLIENTS SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, EASEMENTS, AND RIGHTS OF WAY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF ANY DATA OR INFORMATION PROVIDED BY OTHER PARTIES. SEE 'UTILITY NOTE' ON SHEET 3.

NO.	DATE	DESCRIPTION	DESIGN BY
1	07-16-2025	RESPONSE TO COMMENTS	K.E.D.
2	07-28-2025	RESPONSE TO COMMENTS	K.E.D.
3	08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
4	08-27-2025	FINAL DESIGN	K.E.D.

GRADING, DRAINAGE & UTILITIES PLAN
SAUGATUCKET ACRES
 ASSESSOR'S PLAT 42 LOT 9
 SOUTH KINGSTOWN, RHODE ISLAND
 OWNER AND ARCHITECT:
JAE MILLS, LLC.
 90 MADISON ST. STE 610, WORCESTER, MA 01608
 TEL 774-696-3814



POND COMPLEX A

SCALE: 1"=10'

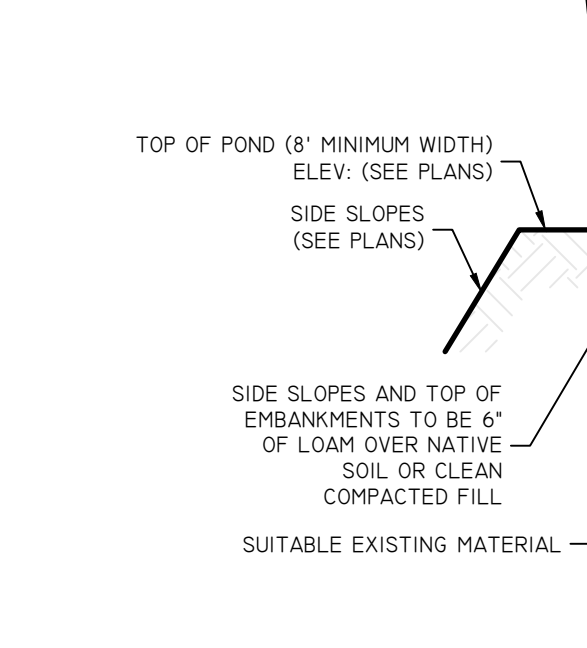
POND SECTION A-A

DESCRIPTION	WQ-A
TOP OF POND ELEVATION	97.00
100 YEAR STORM ELEVATION	96.51
10 YEAR STORM ELEVATION	96.10
1 YEAR STORM ELEVATION	95.80
WQ STORM ELEVATION	95.58
BOTTOM OF POND ELEVATION	94.50
SEASONAL HIGH GWT ELEVATION	92.42
SOIL EVALUATION	TH-22-8

POND EXCAVATION MUST BE MONITORED/INSPECTED BY SITE ENGINEER AND/OR GEOTECHNICAL ENGINEER AT TIME OF INITIAL EXCAVATION TO BOTTOM OF POND, AND AS REQUIRED BY DESIGN ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE FOR INSPECTION.

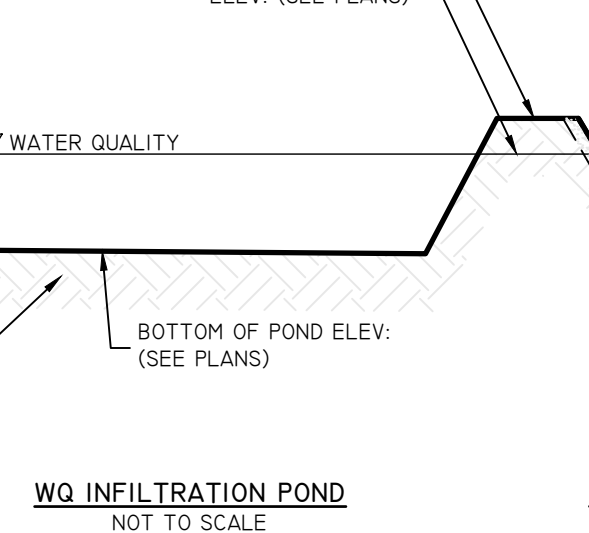
NOTE: LIMITS OF INFILTRATION POND TO BE STAKED OUT AND NOT USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN FILTER LIMITS)

BOTTOM & SIDE SLOPES OF POND TO BE SEED WITH NEW ENGLAND EROSION CONTROL/ RESTORATION MIX (MOIST SITES) BY NEW ENGLAND WETLAND PLANTS (OR APPROVED EQUAL)



WQ INFILTRATION POND BMP SYSTEM
NOT TO SCALE

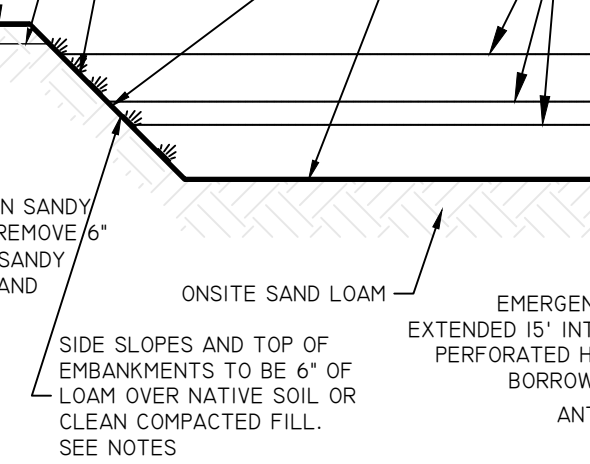
TOP OF POND (5' MINIMUM WIDTH) ELEV.: (SEE PLANS)
WQ POND INLET ELEV.: (SEE PLANS)



SEDIMENT FOREBAY
NOT TO SCALE

- NOTES:
- LIMITS OF INFILTRATION POND MUST BE STAKED OUT AND MUST NOT BE USED AS A TEMPORARY SEDIMENT BASIN DURING CONSTRUCTION (NO CONSTRUCTION TRAFFIC ALLOWED WITHIN POND LIMITS).
 - INFILTRATION PONDS MUST NOT BE USED FOR STOCKPILING, VEHICLE PARKING OR ANY OTHER ANCILLARY STORING OF OBJECTS OR MATERIALS, TEMPORARY OR PERMANENT, AT ANY TIME.
 - INFILTRATION PONDS MUST BE ADEQUATELY PROTECTED FROM SEDIMENT LADEN RUNOFF DURING CONSTRUCTION.
 - FOLLOWING CONSTRUCTION AND STABILIZATION OF ALL UPSTREAM AREAS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SEDIMENT FROM INFILTRATION PONDS. IF SEDIMENT REMOVAL IS REQUIRED, THE CONTRACTOR MUST ALSO ROTOTILL THE ENTIRE POND BOTTOM TO A MINIMUM DEPTH OF 24" AND RE-ESTABLISH TO FINAL DESIGN GRADES AND COVER TYPES.
 - SOILS MUST BE TRACKED INTO PLACE. NO COMPACTION EQUIPMENT ALLOWED.

BOTTOM AND SIDE SLOPES OF POND TO BE SEED WITH NEW ENGLAND EROSION CONTROL/ RESTORATION MIX (MOIST SITES) BY NEW ENGLAND WETLAND PLANTS (OR APPROVED EQUAL)

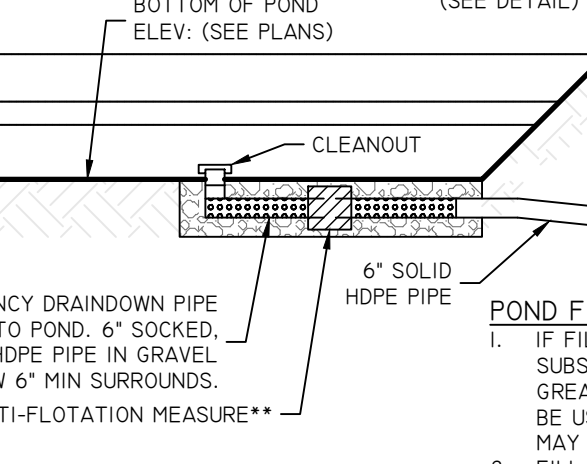


INFILTRATION POND
NOT TO SCALE

DESCRIPTION	IP-A
TOP OF POND ELEVATION	97.00
100 YEAR STORM ELEVATION	96.43
10 YEAR STORM ELEVATION	96.09
1 YEAR STORM ELEVATION	95.63
BOTTOM OF POND ELEVATION	94.50
SEASONAL HIGH GWT ELEVATION	92.17
SOIL EVALUATION	TH-22-8

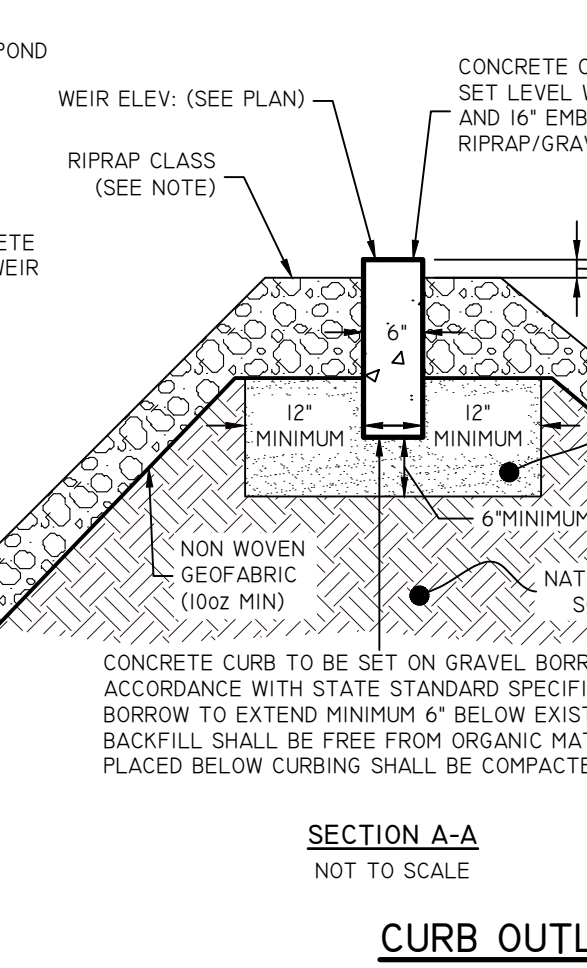
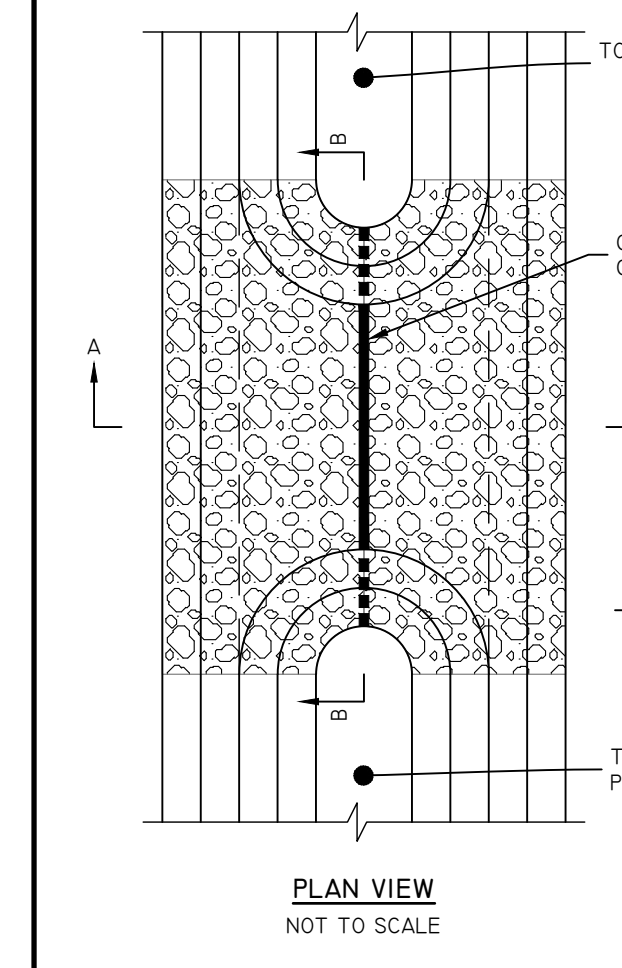
BOTTOM OF POND EXCAVATION MUST BE MONITORED/ INSPECTED BY SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE FOR INSPECTION.

IF EXISTING SOILS CONTAIN SANDY OR GRAVELLY MATERIAL, REMOVE 6" (MIN) AND REPLACE WITH SANDY LOAM TO FOREBAY SIDES AND BOTTOM

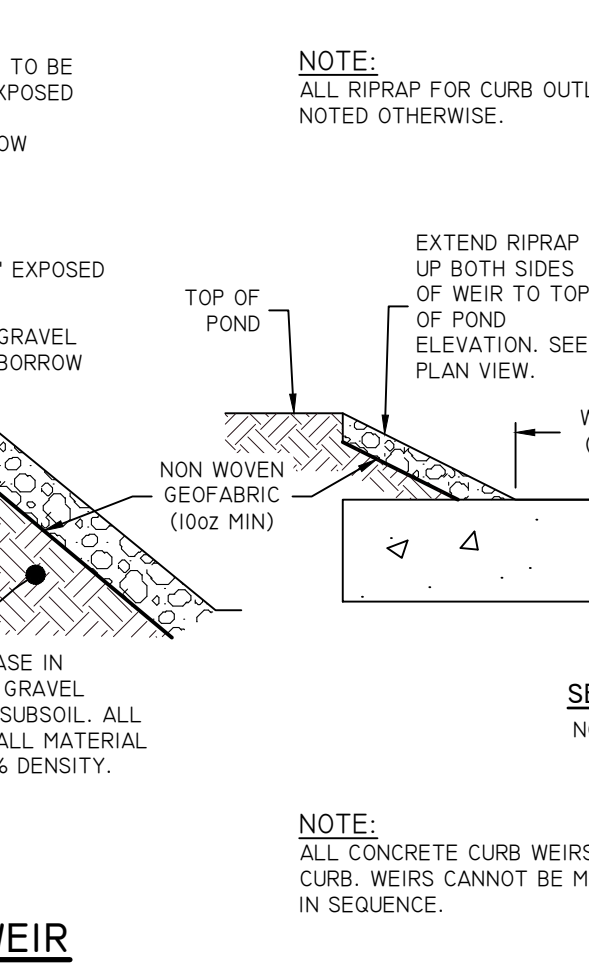


POND EARTHEN EMBANKMENT:
LOW PERMEABILITY CORE
NOT TO SCALE

- POND FILL NOTES:
- IF FILL IS REQUIRED WITHIN THE FOOTPRINT OF AN INFILTRATION POND, CONTRACTOR MUST REMOVE TOP AND SUBSOILS/ EXCAVATE DOWN TO THE C HORIZON AND BACKFILL WITH SUITABLE MATERIAL THAT HAS EQUAL OR GREATER INFILTRATION PARAMETERS THAN THE EXISTING C SOIL HORIZONS BENEATH. ONSITE MATERIALS MAY BE USED AT THE DIRECTION OF THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. B HORIZON OR PART THEREOF MAY BE LEFT IN PLACE ONLY IF ASSESSED AND DIRECTED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER.
 - FILL OPERATIONS MUST BE MONITORED BY THE SITE ENGINEER OR GEOTECHNICAL ENGINEER. CONTRACTOR MUST PROVIDE ADEQUATE NOTICE PRIOR TO FILLING.



SECTION A-A
CURB OUTLET WEIR
NOT TO SCALE



SECTION B-B
NOT TO SCALE

NOTE: ALL RIPRAP FOR CURB OUTLET WEIRS TO BE CLASS R-3 UNLESS NOTED OTHERWISE.

NOTE: EXTEND RIPRAP UP BOTH SIDES OF WEIR TO TOP OF POND ELEVATION. SEE PLAN VIEW.

NOTE: EXTEND/ BURY CONCRETE CURB WEIR TO ALIGN WITH TOP OF POND ELEVATION, BOTH SIDES.

NOTE: ALL CONCRETE CURB WEIRS MUST BE MONOLITHIC. CONCRETE CURB WEIRS CANNOT BE MULTIPLE PRECAST CURBS JOINED IN SEQUENCE.

WELL DRAINED SHELL TO BE GRAVEL BORROW AND MEET THE FOLLOWING GRADATION:

SIEVE SIZE	PERCENT FINER BY WEIGHT
3-INCH	60-100
1/2 INCH	50-85
1/4 INCH	45-80
NO. 4	40-75
NO. 40	0-45
NO. 200	0-10

NOTE TO CONTRACTOR: COORDINATE WITH THE OWNER'S GEOTECHNICAL ENGINEER/ INSPECTOR A MINIMUM OF FIVE DAYS PRIOR TO CONSTRUCTION OF THE EMBANKMENT, FOR APPROVAL OF PROPOSED CORE MATERIALS, TESTING COMPANY AND EMBANKMENT INSPECTION SCHEDULE. INTERIM INSPECTION REPORTS TO BE PROVIDED TO THE OWNER AND DESIGN ENGINEER AT INTERVALS AS DETERMINED BY THE GEOTECHNICAL ENGINEER.

POND EMBANKMENT HEIGHT "A" (FT)	TOP WIDTH OF CORE "B" (FT)
0-7.0	6.0
OVER 7.0	PER GEOTECH

- NOTES:
- LOW PERMEABILITY SOIL CORE TO BE PROVIDED FOR ALL POND EMBANKMENTS UNLESS AN ALTERNATIVE METHOD IS SPECIFICALLY NOTED ON THE PLANS.
 - LOW PERMEABILITY SOIL CORE TO BE CONSTRUCTED OF A MATERIAL WITH A MINIMUM OF 30% PASSING THE #200 SIEVE AND A MAXIMUM PERMEABILITY OF 0.00005 CM/S.
 - WELL DRAINED SHELL TO BE GRAVEL BORROW WITH LESS THAN 10% PASSING THE #200 SIEVE AND MEET THE GRADATION AS SHOWN ON THIS DETAIL.
 - ALL MATERIAL MUST BE FREE FROM DELETERIOUS ORGANIC MATTER, INCLUDING (BUT NOT LIMITED TO) ROOTS, SOIL, RUBBLE, SNOW, ICE, RUBBISH ETC.
 - MINIMUM DEPTH OF CUT-OFF TRENCH SHALL BE 4' MEASURED FROM THE LOWEST ELEVATION OF THE UNDISTURBED EXISTING SURFACE INTERFACE. SEE DETAIL.
 - THE MINIMUM BOTTOM WIDTH OF THE CUT-OFF TRENCH SHALL BE 4', AND WIDE ENOUGH TO PERMIT OPERATION OF COMPACTION EQUIPMENT.
 - SIDE SLOPES OF THE CUT-OFF TRENCH SHALL BE NO STEEPER THAN 3H:1V.
 - IF BEDROCK IS ENCOUNTERED BELOW THE POND EMBANKMENT THE CUT OFF TRENCH MAY BE MODIFIED AT THE DIRECTION OF A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER.
 - THE LOW PERMEABILITY CORE AT A MINIMUM SHALL EXTEND UP BOTH ABUTMENTS TO THE EMERGENCY SPILLWAY ELEVATION.
 - COMPACTION REQUIREMENTS FOR THE SHELL AND LOW PERMEABILITY CORE TO BE 95% OF THE MODIFIED PROCTOR PER ASTM D1557. ALL FILL TO BE PLACED IN LIFTS NOT EXCEEDING 12".
 - SIDE SLOPE OF POND EMBANKMENT TO BE NO STEEPER THAN THE SLOPES SHOWN ON THE POND-SPECIFIC DESIGN PLANS WITHOUT WRITTEN DIRECTION FROM THE DESIGN ENGINEER. IF ANY POND SIDE SLOPE IS STEEPER THAN 3H:1V, SLOPE PROTECTION MUST BE UTILIZED ON POND EMBANKMENT, WHICH MAY INCLUDE (BUT NOT BE LIMITED TO) RIPRAP AND/ OR EROSION CONTROL MATS.
 - THE LOW PERMEABILITY CORE MUST BE KEPT FREE FROM STANDING WATER DURING THE BACKFILL OPERATION.
 - ALL EMBANKMENT INSTALLATIONS TO BE SUPERVISED BY A SUITABLY QUALIFIED GEOTECHNICAL ENGINEER AND SUBMITTED TO THE SITE ENGINEER (AND A.H.J. WHERE REQUIRED) FOR REVIEW PRIOR TO CONSTRUCTION.
 - ANY PROPOSED DEVIATIONS FROM THIS DETAIL MUST BE DESIGNED BY A SUITABLY QUALIFIED PROFESSIONAL GEOTECHNICAL ENGINEER AND SUBMITTED TO THE SITE ENGINEER (AND A.H.J. WHERE REQUIRED) FOR REVIEW PRIOR TO CONSTRUCTION.

DiPrete Engineering
Engineers - Planners - Surveyors
www.diprete-eng.com
Two Stafford Court, Cranston, RI 02920 · Tel: 401-943-1000

MOLLY R. TITUS
REGISTERED PROFESSIONAL ENGINEER
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN SET. THE CLIENTS USE, NOT WITHSTANDING ANY DISCLAIMERS, IS SOLELY THEIR OWN. DIPRETE ENGINEERING ASSUMES NO LIABILITY FOR DAMAGES OF ANY KIND ARISING FROM THE USE OF THIS PLAN SET. SEE UTILITY NOTES ON SHEET 3.

DATE	DESCRIPTION	BY	CHKD
10/16/2024	RESPONSE TO COMMENTS	K.E.D.	
09/24/2024	PRELIMINARY SUBMISSION	K.E.D.	
08/28/2024	DESIGN	K.E.D.	

POND COMPLEX A
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND
OWNER AND ARCHITECT:
JAE MILLIS, LLC.
90 MADISON ST. STE 610, WORCESTER, MA 01608
TEL 774-696-3814



MOLLY R. TITUS
 No. [Signature]
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES AS A NECESSARY PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ENGINEERING DOES NOT WARRANT PLANS OF ANY OTHER PARTY. THE USER ASSUMES ALL LIABILITY FOR THE DESIGN, CONSTRUCTION, METHODS, SAFETY, PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR OMA. OMA SHALL BE RESPONSIBLE FOR VERIFYING ALL UTILITIES. SEE UTILITY NOTE ON SHEET 3.

NO.	DATE	DESCRIPTION	BY	CHKD.
2	10/16/2024	RESPONSE TO COMMENTS	J.L.B.	K.E.D.
1	07/28/2024	PRELIMINARY DESIGN	S.P.	K.E.D.
1	05/13/2024	RESPONSE TO COMMENTS	S.P.	K.E.D.
1	05/13/2024	PRELIMINARY DESIGN	S.P.	K.E.D.

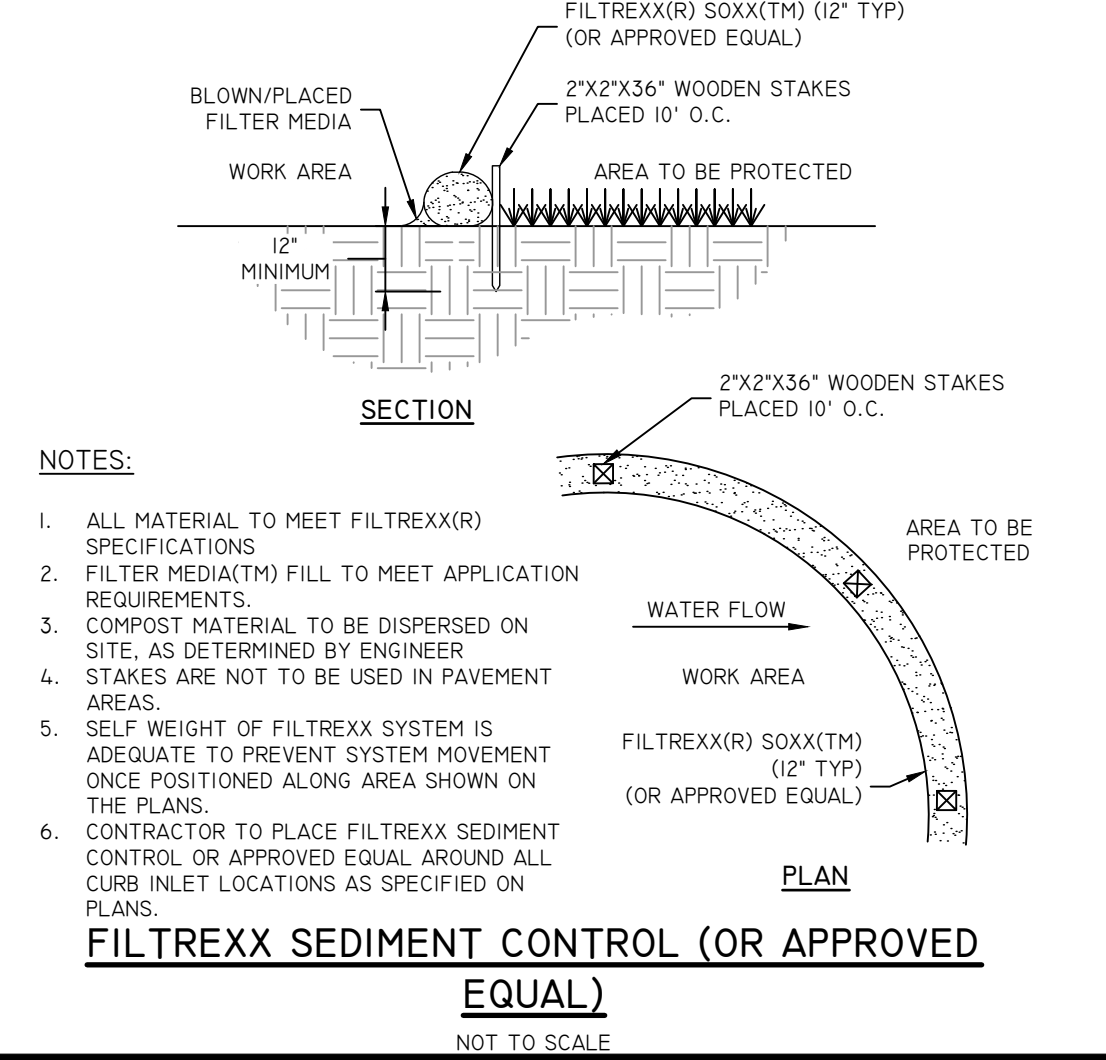
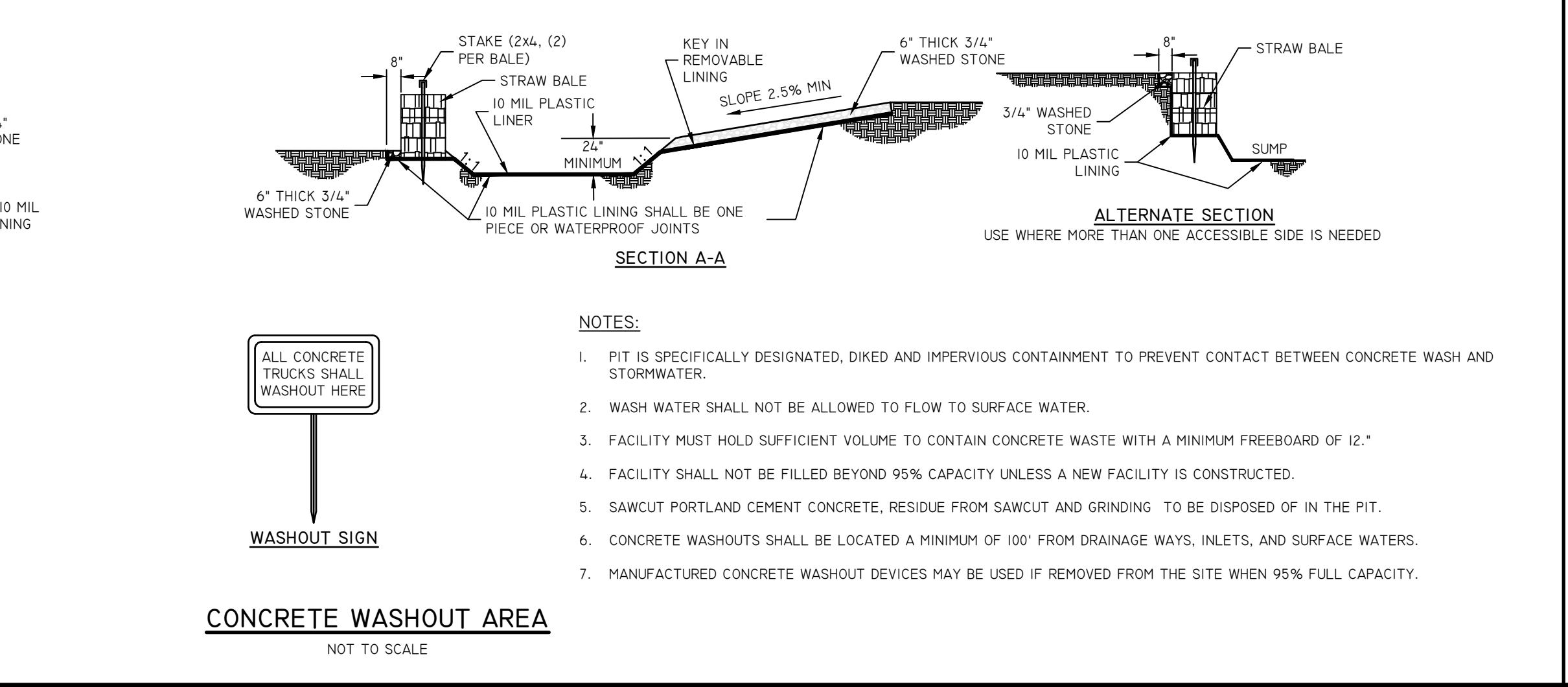
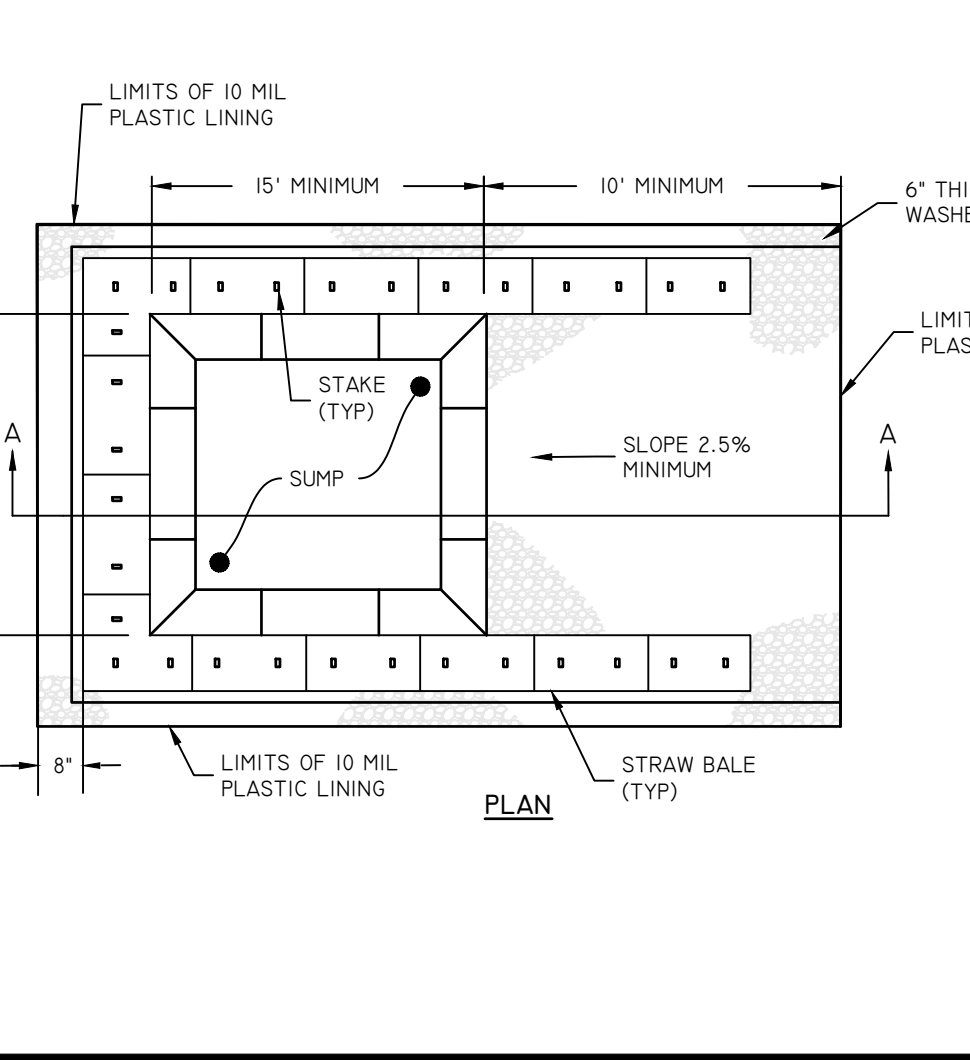
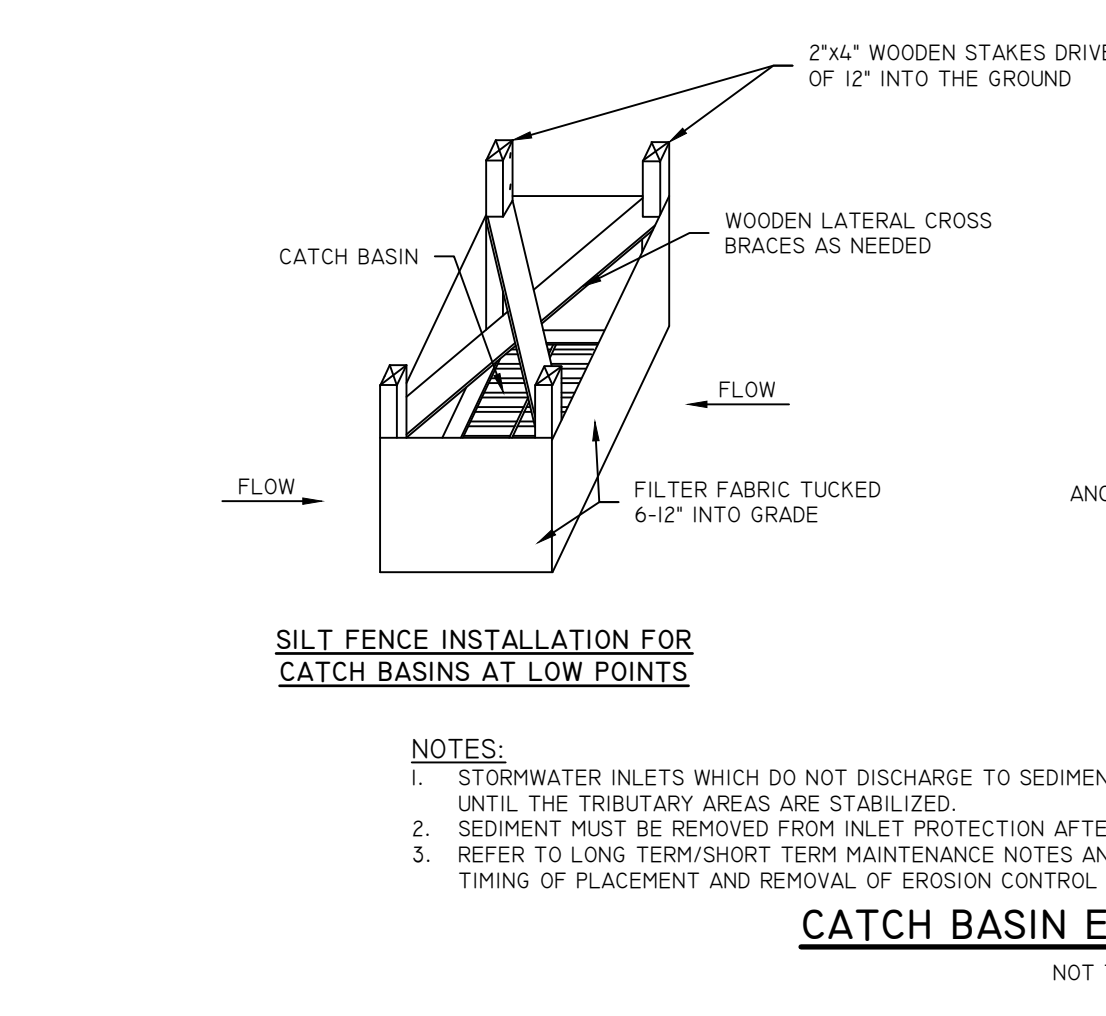
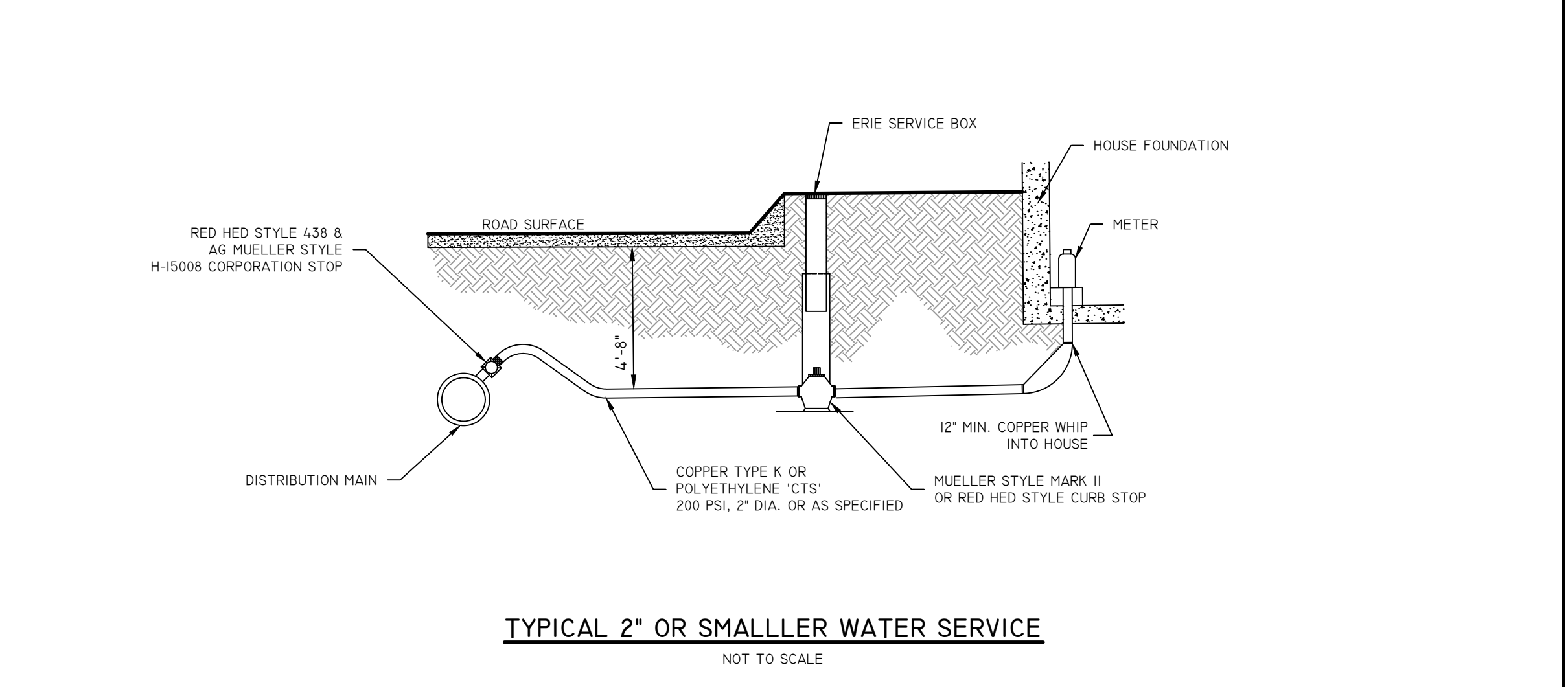
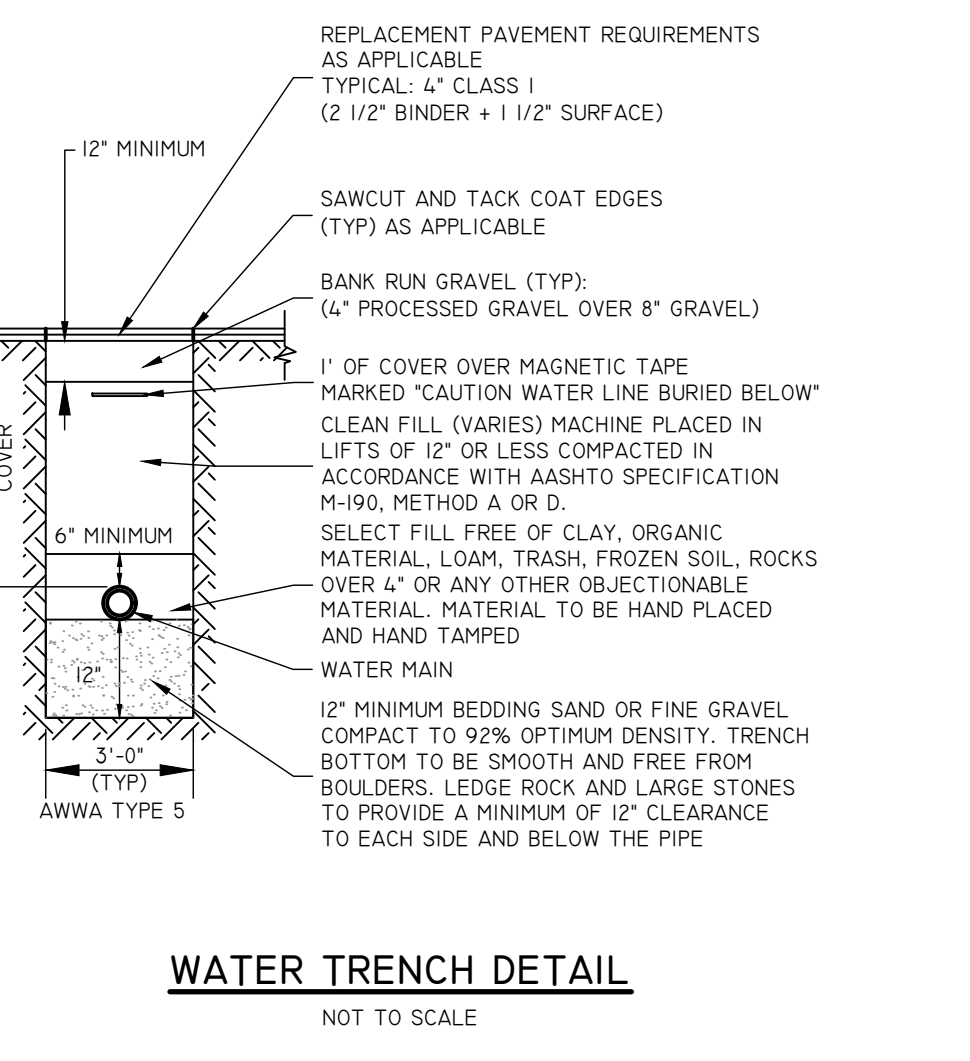
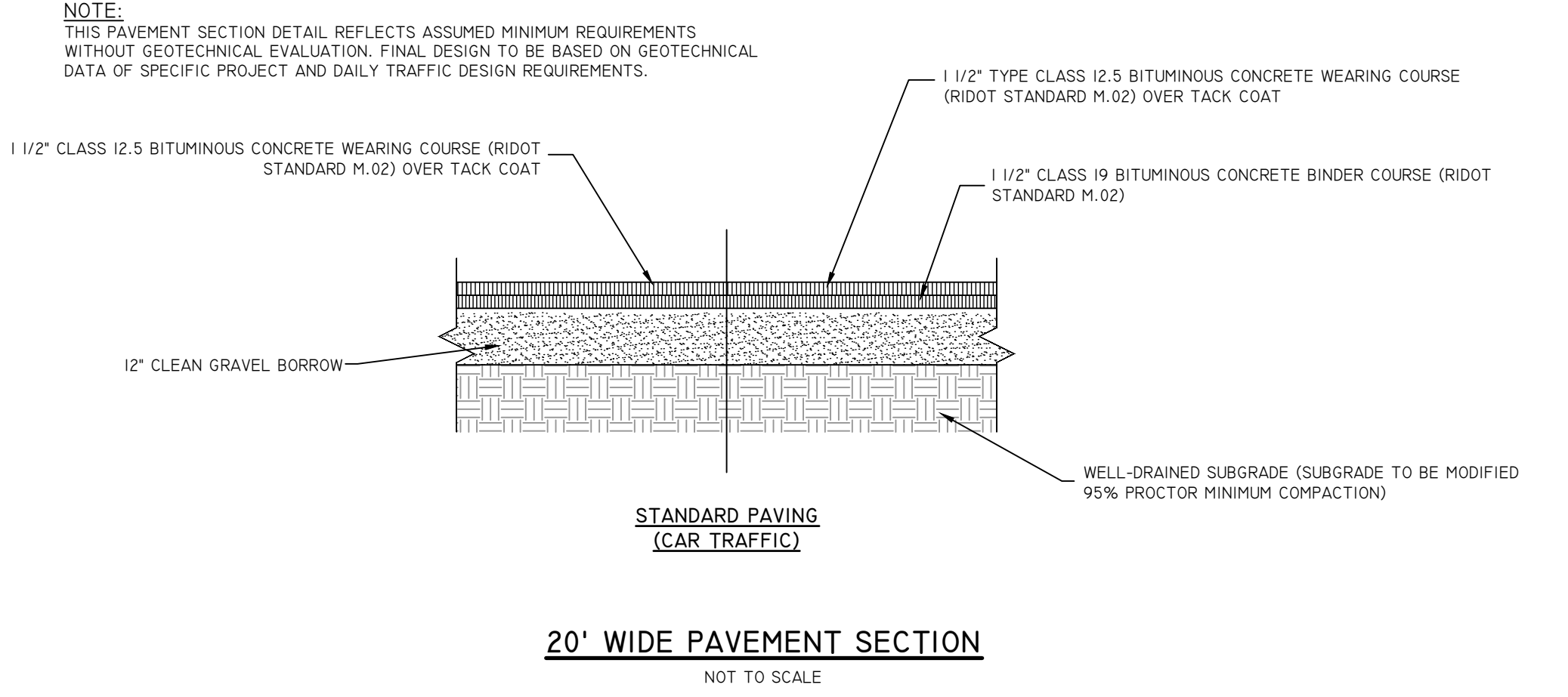
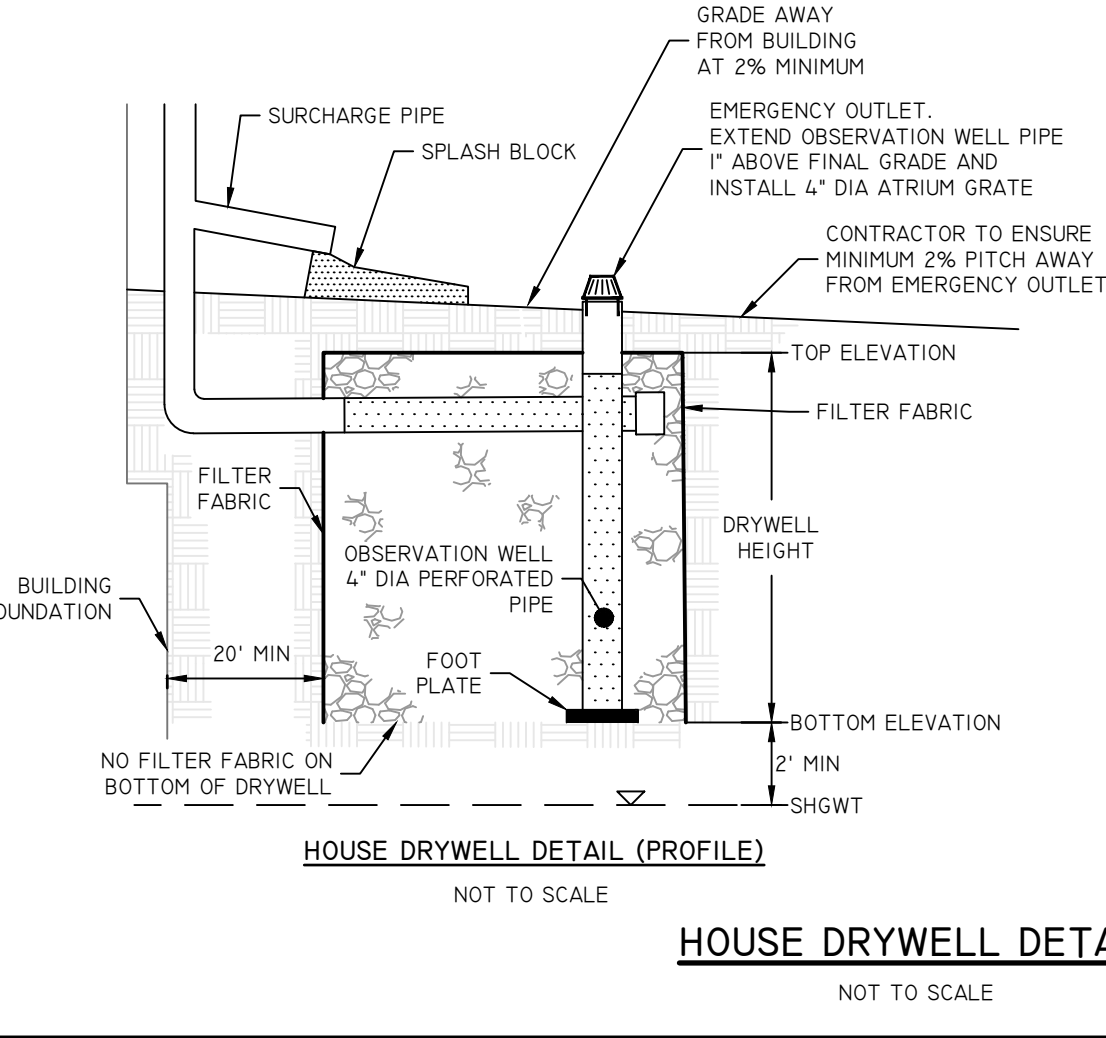
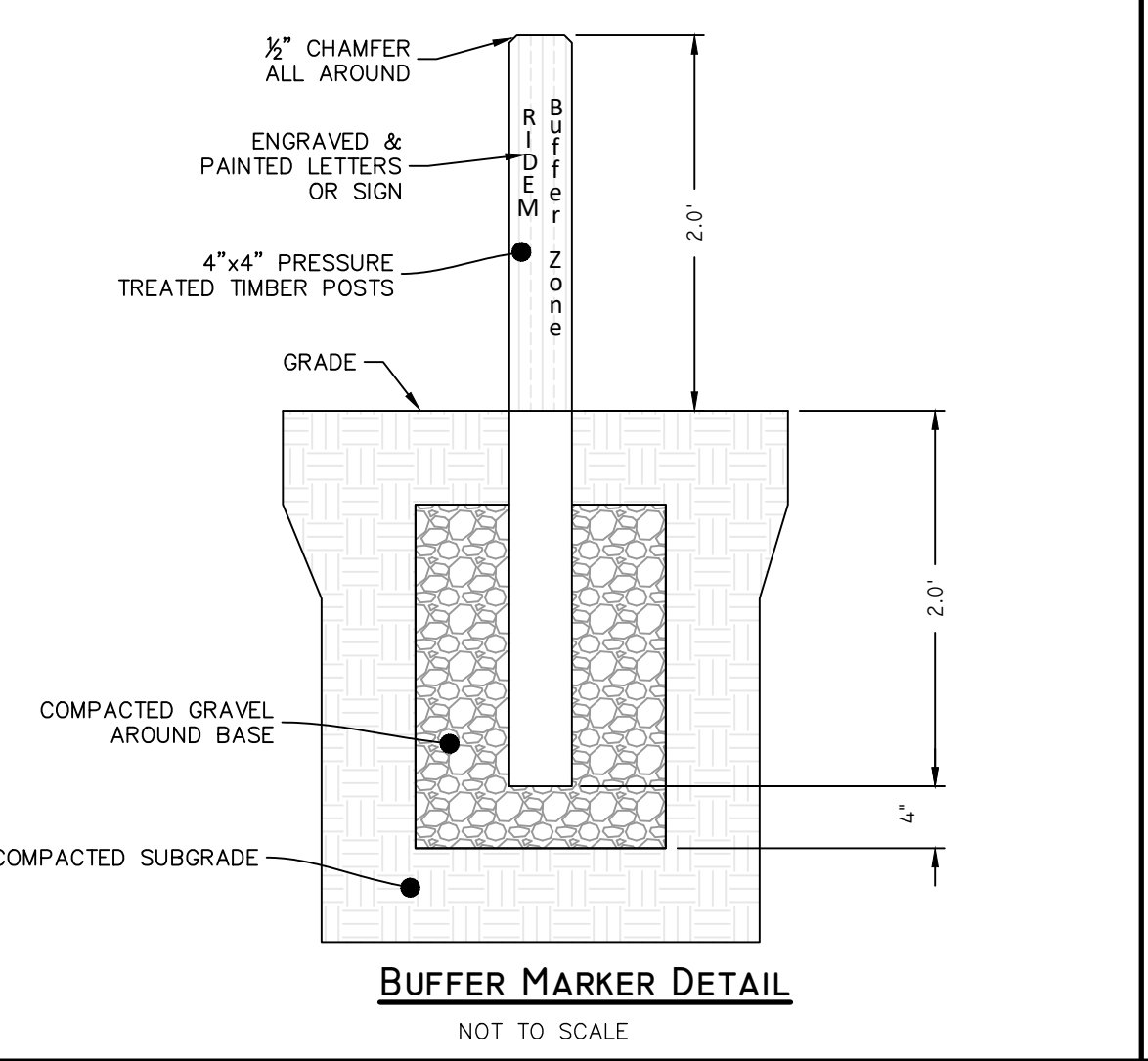
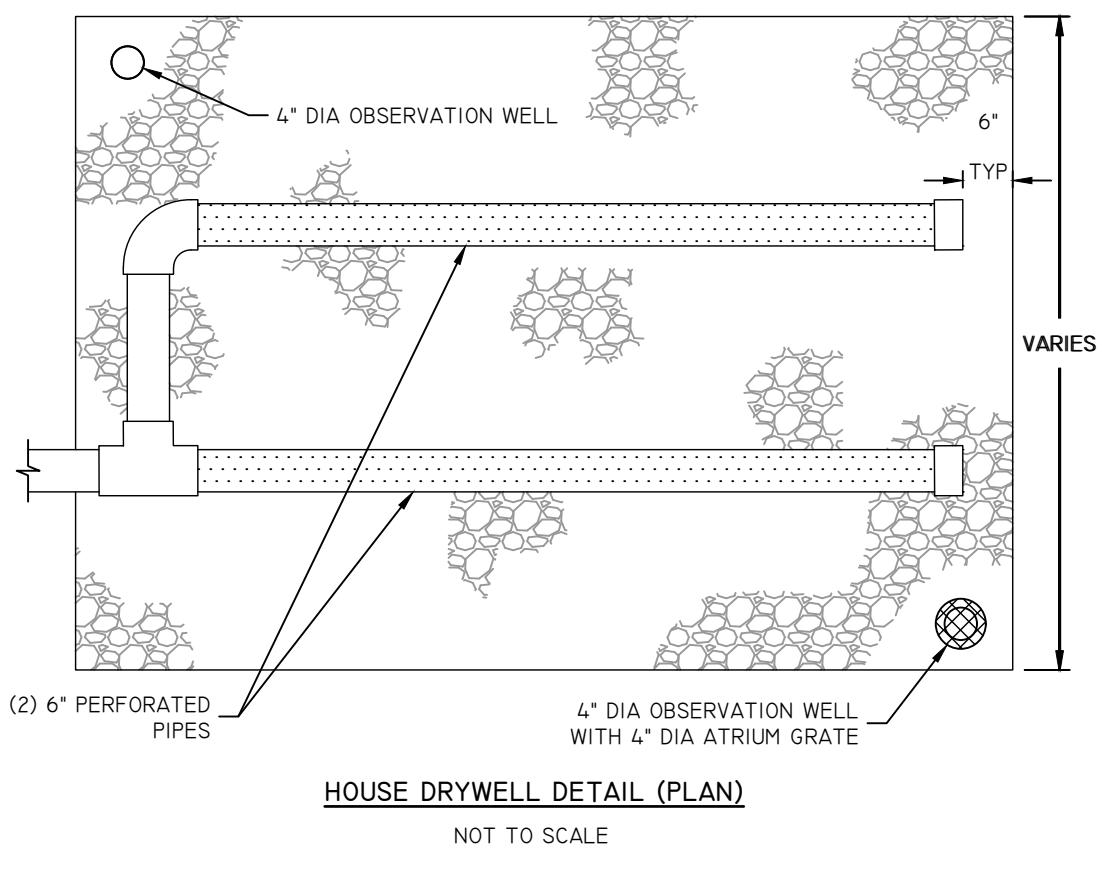
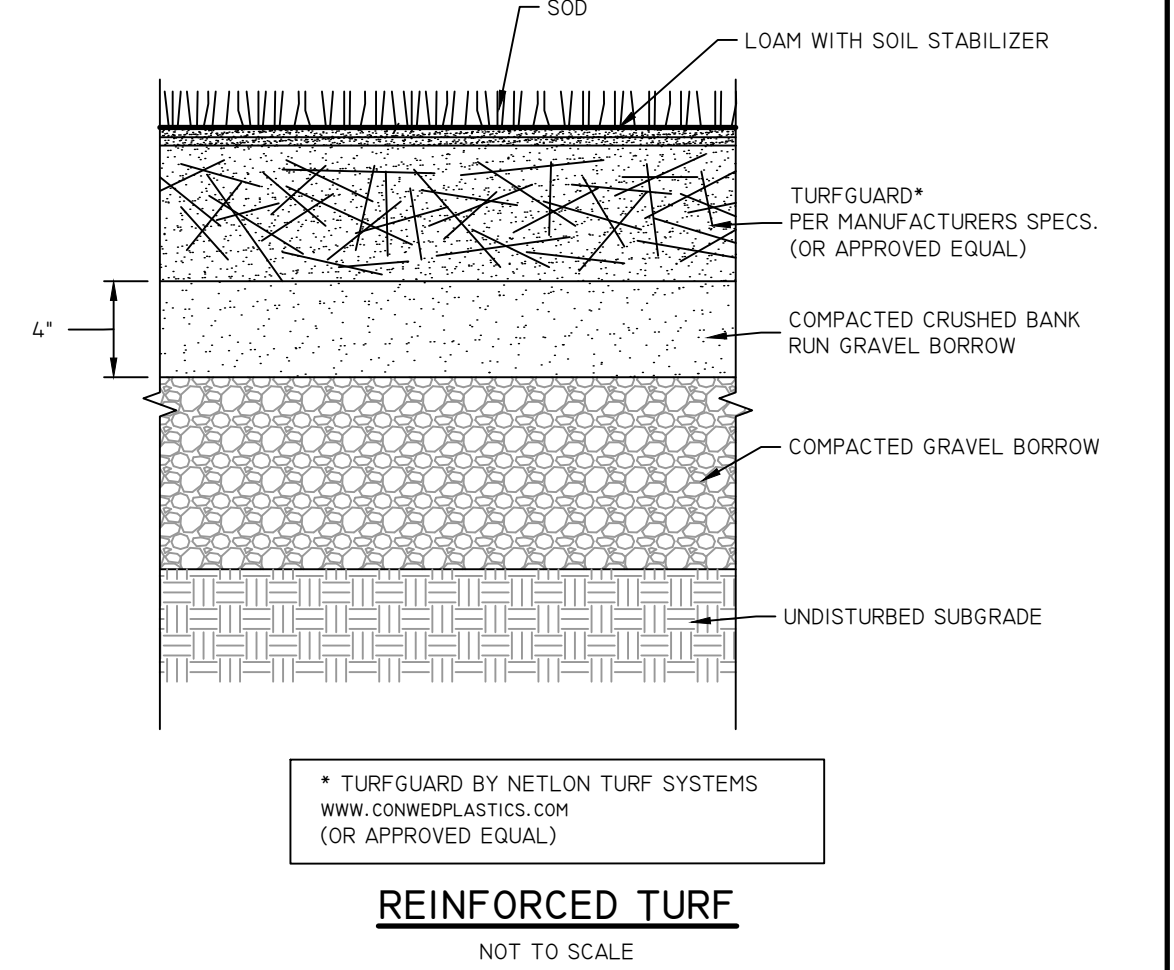
DESIGN BY: K.E.D.
 DRAWN BY: K.E.D.

DETAIL SHEET
SAUGATUCKET ACRES
 ASSESSOR'S PLAT 42 LOT 9
 SOUTH KINGSTOWN, RHODE ISLAND
 OWNER AND APPLICANT:
JAE MILLIS, LLC.
 90 MADISON ST. STE 610, WORCESTER, MA 01608
 TEL: 774-696-3814

- CONSTRUCTION, MAINTENANCE & INSPECTION NOTES:**
- ROOF LEADERS ARE TO TIE INTO PROPOSED DRYWELLS.
 - DRYWELL AREA TO BE STAKED, MARKED, AND REMAIN UNDISTURBED PRIOR TO CONSTRUCTION. THERE IS TO BE NO CONSTRUCTION TRAFFIC ON DESIGNATED AREA PRIOR TO CONSTRUCTION.
 - DRYWELLS TO BE LOCATED DOWNGRADIENT OF THE BUILDING WITH A MINIMUM OF 20' SEPARATION TO THE FOUNDATION.
 - UNDER NO CIRCUMSTANCES MAY DRYWELLS BE INSTALLED UPGRADIENT OF A BUILDING.
 - PLACE FILTER FABRIC ON SIDES OF TRENCH AND FILL WITH CRUSHED, WASHED STONE.
 - OVERLAP FILTER FABRIC ON THE TOP OF THE FILTER STONE. BACK FILL WITH CLEAN FILL TO FINISH GRADE.
 - MONITORING OF WATER LEVELS WITHIN THE INSPECTION PORT AT VARIOUS TIME INTERVALS AFTER A RAINFALL EVENT WILL INDICATE THE EFFECTIVENESS OF THE SYSTEM. IF WATER IS STANDING IN DRYWELL SYSTEM 72 HOURS AFTER A STORM EVENT, SYSTEM FAILURE HAS OCCURRED AND WILL REQUIRE FLUSHING MAINTENANCE, REPAIR OR REPLACEMENT OF THE SYSTEM.
 - MAINTENANCE OF ALL DRYWELL AND DRAINAGE COMPONENTS IS THE RESPONSIBILITY OF THE OWNER, INCLUDING MONITORING OF WATER LEVELS AS NECESSARY.
 - THE ONLY CONNECTIONS ALLOWED TO THE DRYWELL ARE FROM ROOF CONNECTIONS AS SHOWN ON THE PLANS. CONNECTIONS FROM FOUNDATIONS DRAINS, SUMP, WINDOW WELLS, FLOOR DRAINAGE AND ALL OTHER CONNECTIONS ARE PROHIBITED.

SIZING NOTES:
 DRYWELLS SIZED USING HYDROCAD

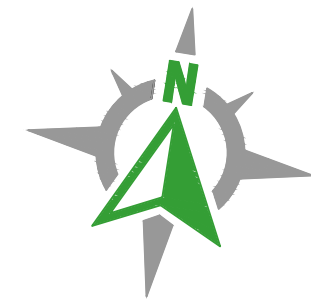
LOT	PROPOSED GRADING ELEVATION	TOP OF DRYWELL	ELEVATION AT BOTTOM STONE OF DRYWELL	SEASONAL HIGH GWT ELEVATION	SEPARATION DISTANCE (FEET)	MIN SURFACE AREA (SF)
1	103.00	102.00	101.00	99.00	2.00	324.00
2	96.00	95.00	94.50	92.50	2.00	330.00
3	96.75	95.75	94.25	92.25	2.00	330.00
4	97.75	96.75	96.25	94.17	2.08	324.00
5	99.50	98.50	98.00	96.00	2.00	324.00



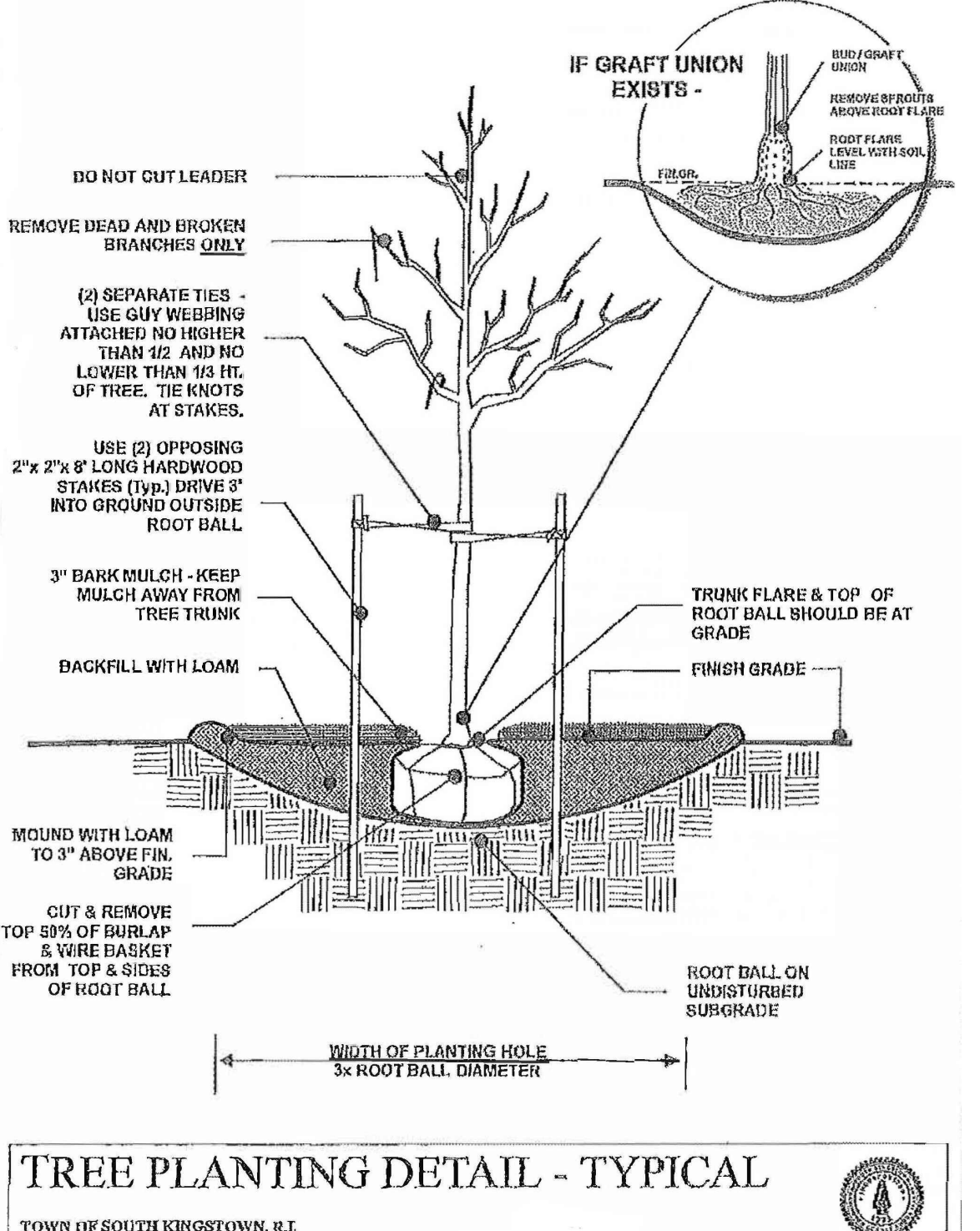
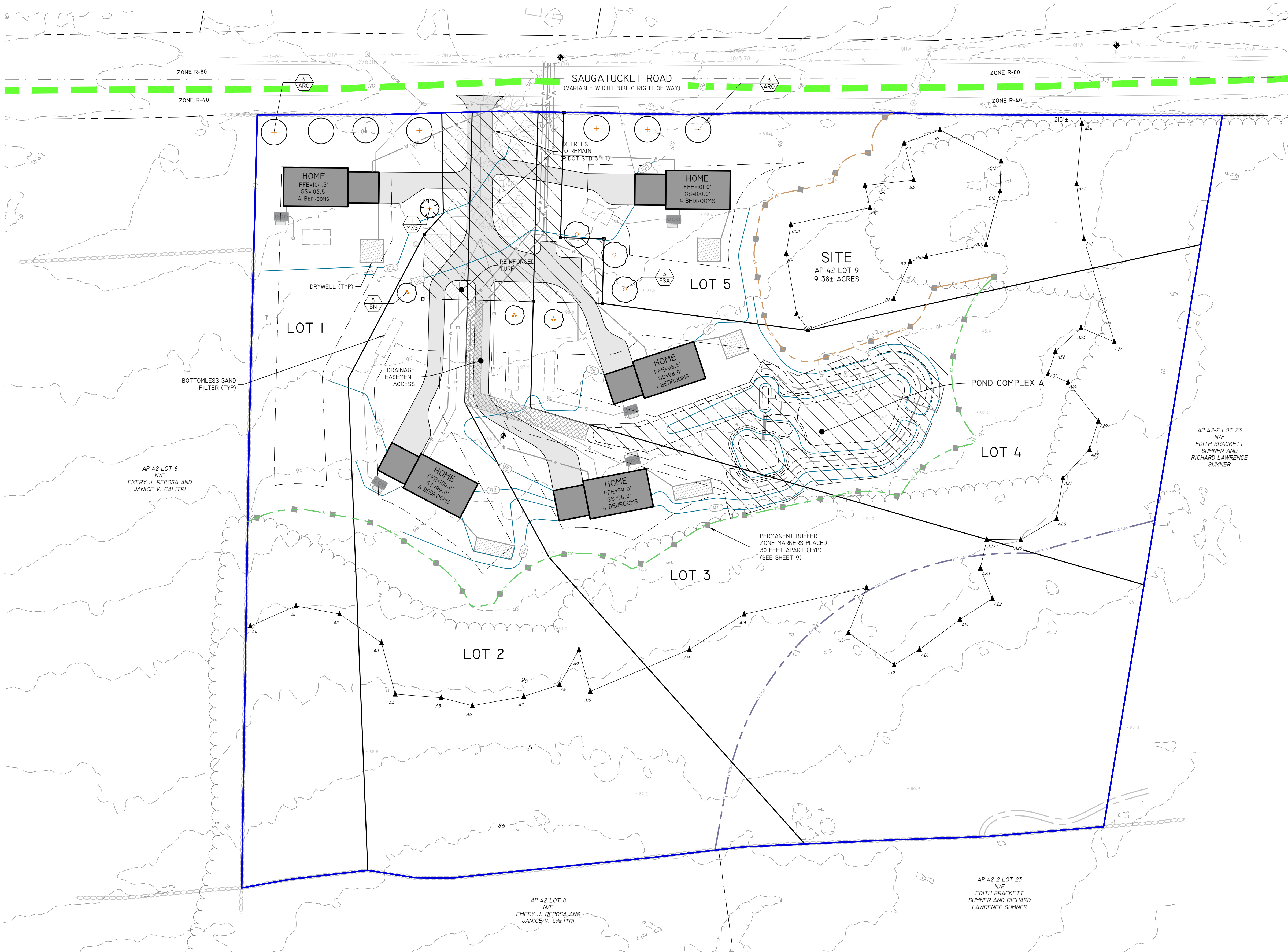
- NOTES:**
- ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
 - DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 - SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 - STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1" OF RAINFALL. REPAIR/REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 - SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

PLANT SCHEDULE

SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
TREES					
	ARO	7	ACER RUBRUM 'OCTOBER GLORY'™	OCTOBER GLORY MAPLE	2.5/3" CAL B&B - 12" HT
	BN	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	10/12" CLUMP
	MXS	1	MALUS X 'SNOWDRIFT'	SNOWDRIFT CRAB APPLE	2.5/3" CAL B&B
	PSA	3	PRUNUS SUBHIRTELLA 'AUTUMNALIS'	AUTUMN FLOWERING CHERRY	2.5/3" CAL B&B



- PLANTING NOTES:**
- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
 - CONTRACTOR TO PROVIDE A TWO (2) YEAR GUARANTEE FOR ALL PLANT MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR TWO (2) GROWING SEASONS. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNs UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
 - ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF 'THE AMERICAN STANDARD FOR NURSERY STOCK,' LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
 - PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
 - ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
 - CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
 - CONTRACTOR TO RECEIVE A MINIMUM OF THREE (3) INCHES OF AGED SHREDDED HARDWOOD BROWN MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON PLANS AND LANDSCAPE PARKING ISLANDS CONTAINING SHRUBS, GRASSES AND GROUNDCOVER.
 - TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
 - CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI OR OTHER APPROVED DROUGHT TOLERANT ENDOPHYTE ENHANCED SEED MIX) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. STORMWATER SYSTEMS TO BE SEED PER POND DETAILS.
 - RECOMMENDED DATES FOR PLANTING ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
 - ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
 - LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNERS PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY, LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
 - IRRIGATION LIGHTING BY OTHERS IF REQUIRED.
 - THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



Diprete Engineering
 Engineers - Planners - Surveyors
 www.diprete-eng.com
 Two Stafford Court, Cranston, RI 02920 • Tel: 401-943-1000



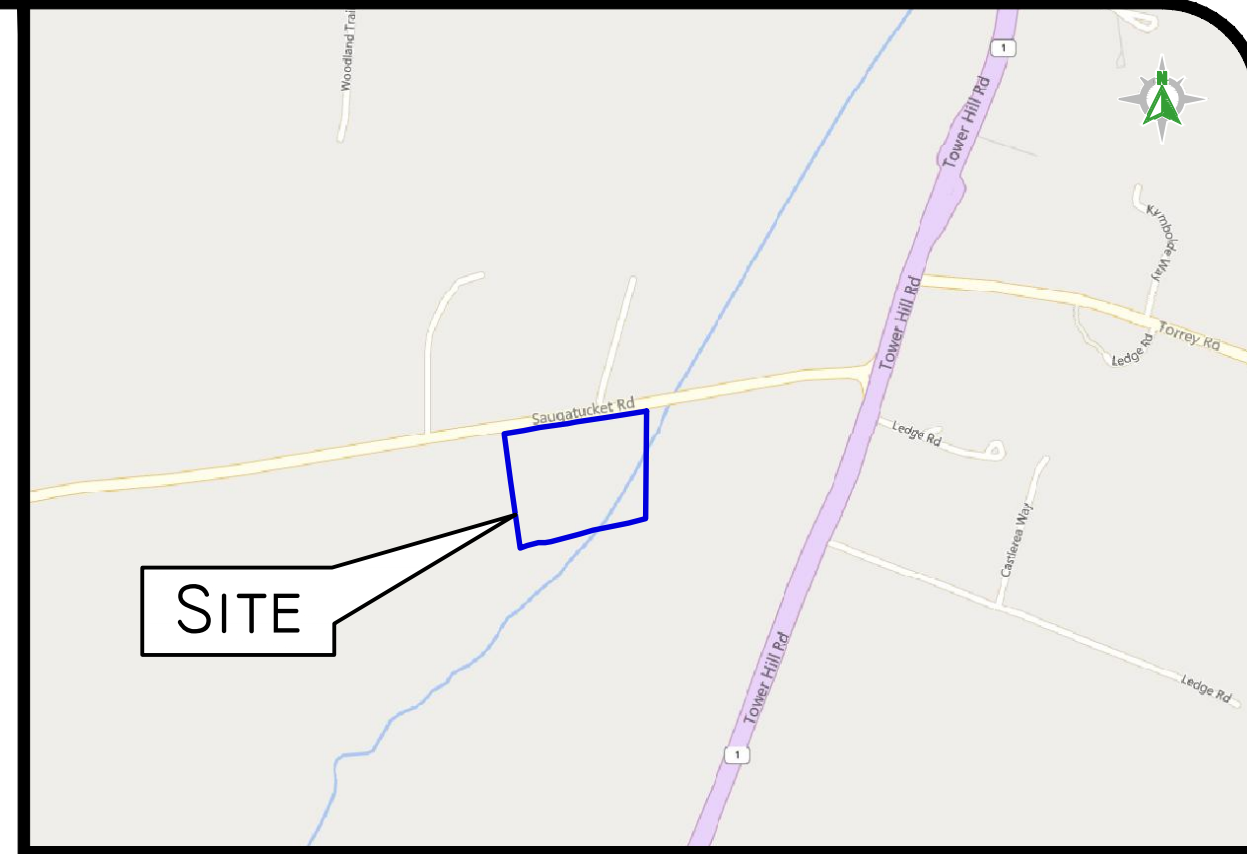
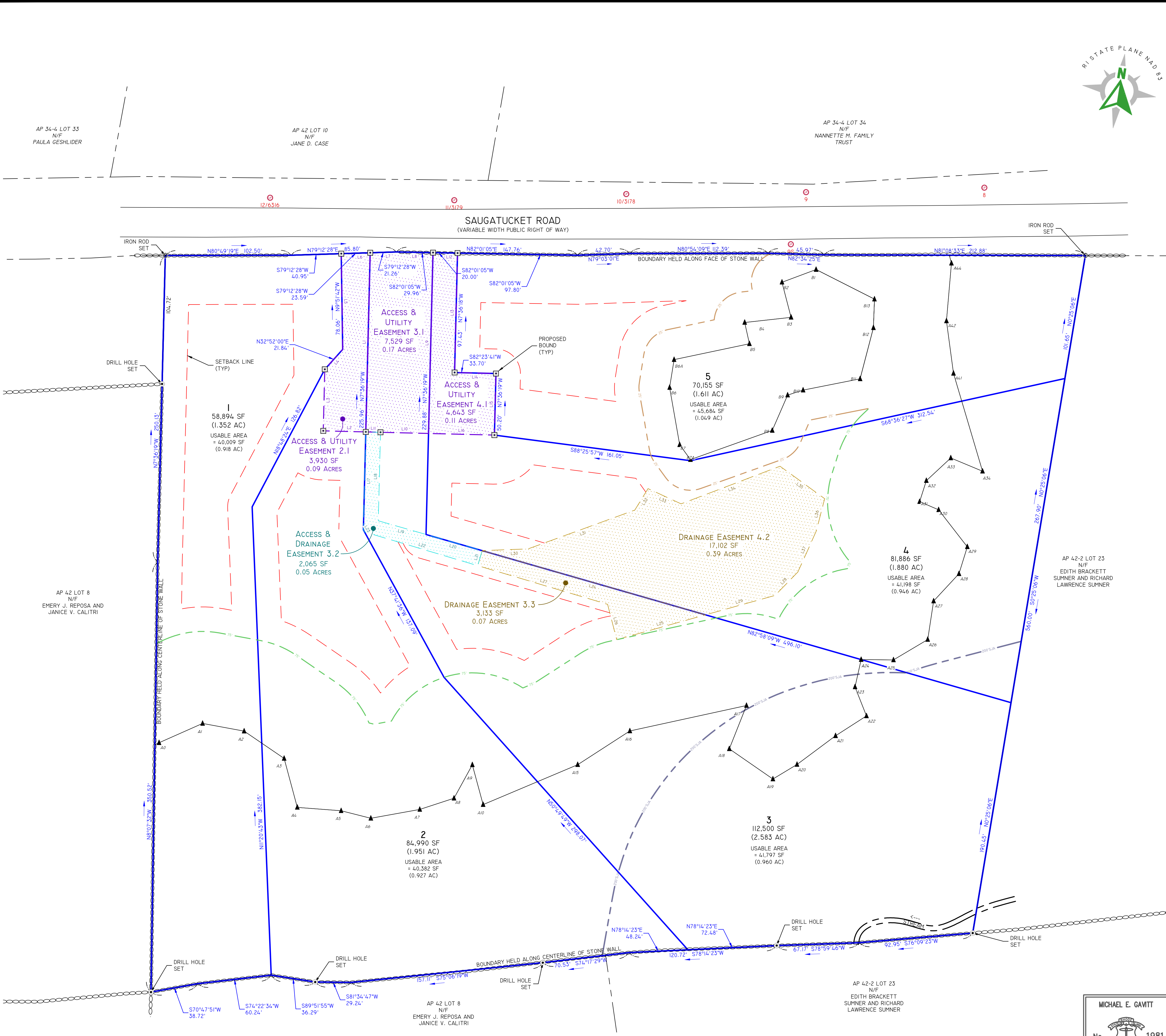
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING, DIPRETE ENGINEERING, INC., 1000 WASHINGTON STREET, SUITE 200, CRANSTON, RI 02910. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, REGULATIONS AND REQUIREMENTS, AND OSHA METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA DESIGN. MAKE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN.
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR OBTAINING PERMITS OR REGULATIONS FOR ANY UTILITIES. SEE UTILITY NOTE ON SHEET 3.
 DESIGN BY: K.E.D.

NO.	DATE	DESCRIPTION	DESIGN BY: K.E.D.
1	07-28-2023	RESPONSE TO COMMENTS	
2	07-28-2023	PRELIMINARY SUBMISSION	
3	08-13-2023	RESPONSE TO COMMENTS	
4	08-13-2023	PRELIMINARY SUBMISSION	

LANDSCAPE PLAN
SAUGATUCKET ACRES
 ASSESSOR'S PLAT 42 LOT 9
 SOUTH KINGSTOWN, RHODE ISLAND
 OWNER AND ARCHITECT:
JAE MILLS, LLC.
 90 MADISON ST. STE 610, WORCESTER, MA 01608
 TEL: 774-696-3814
 BE JOB NO. 237458. COPYRIGHT 2023 BY DIPRETE ENGINEERING ASSOCIATES, INC.

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Z:\DEVELOPMENT\PROJECTS\1287-001 SAUGATUCKET ROAD\17A\AUTOCAD DRAWINGS\1287-001-REC.DWG PLOT# 7/16/2025



LEGEND

W	WATER LINE	DEED BOOK/PAGE	○	BOLLARD
S	SEWER LINE	ASSESSOR'S PLAT	○	SOIL EVALUATION
SM	SEWER FORCE MAIN	HANDICAPPED	○	CATCH BASIN
G	GAS LINE	NOW OR FORMERLY	○	DOUBLE CATCH BASIN
E	ELECTRIC LINE	LANDSCAPING	○	WATER VALVE
OW	OVERHEAD WIRES	(R)	○	RECORD
DL	DRAINAGE LINE	(CA)	○	CHORD ANGLE
MCL	MINOR CONTOUR LINE	▲	○	NAIL/SPIKE
ML	MAJOR CONTOUR LINE	○	○	DRILL HOLE
PL	PROPERTY LINE	○	○	IRON ROD/PIPE
AL	ASSESSORS LINE	○	○	BOUND
TL	TREELINE	○	○	SIGN POST
GR	GUARDRAIL	○	○	SEWER MANHOLE
F	FENCE	○	○	SEWER CLEANOUT
RW	RETAINING WALL	○	○	HYDRANT
SW	STONE WALL	○	○	IRRIGATION VALVE
WL	WETLAND LINE	○	○	UNKNOWN MANHOLE
10'	10' WETLAND BUFFER			
25'	25' WETLAND BUFFER			
75'	75' WETLAND BUFFER			
200'	200' STREAM BUFFER			

- GENERAL NOTES**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 42, LOT 9 IN THE TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 1875, PAGE 370 IS JAE MILLS, LLC.
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44090C0204K & 44090C0204K, MAPS REVISED APRIL 3, 2023. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - THE PARCEL IS ZONED R40 BASED ON THE TOWN OF SOUTH KINGSTOWN ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY AND THERE ARE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS SHOWN ON THE RHODE ISLAND HISTORICAL CEMETERIES ONLINE DATABASE.
 - NO UNIQUE NATURAL FEATURES WERE OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 20, 2023. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	R-40	REQUIRED	PROVIDED
MINIMUM LOT AREA:	40,000 SF	40,000 SF	40,000 SF
MINIMUM FRONTAGE AND LOT WIDTH:	150'	20'	20'
MINIMUM FRONT YARD:	4.0'	4.0'	4.0'
MINIMUM CORNER SIDE YARD:	3.0'	NA'	NA'
MINIMUM SIDE YARD:	2.0'	2.0'	2.0'
MINIMUM REAR YARD:	4.0'	7.5'	7.5'
MAXIMUM LOT COVERAGE:	20%	6.1%	6.1%

LINE TABLE			LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	N7°36'19"W	146.12'	L14	S82°23'41"W	33.70'	L27	S82°26'06"E	110.47'
L2	N82°23'41"E	34.65'	L15	N7°36'19"W	50.20'	L28	N35°18'44"E	26.61'
L3	S7°36'19"E	50.20'	L16	N82°23'41"E	53.70'	L29	N65°21'39"E	58.83'
L4	S32°52'00"W	21.84'	L17	S7°36'19"E	79.84'	L30	S78°49'44"W	37.45'
L5	S9°51'42"E	78.06'	L18	N7°36'19"W	72.15'	L31	S60°59'26"W	92.51'
L6	S79°12'28"W	23.59'	L19	N82°58'09"W	40.50'	L32	S22°36'27"W	20.58'
L7	S79°12'28"W	21.26'	L20	N82°58'09"W	47.62'	L33	N74°14'21"W	29.69'
L8	S82°01'05"W	29.96'	L21	N7°33'54"E	12.79'	L34	S60°08'05"W	86.27'
L9	N7°36'19"W	147.50'	L22	S82°26'06"E	96.26'	L35	N62°58'37"W	44.99'
L10	N82°23'41"E	51.18'	L23	S37°41'36"E	1.99'	L36	N5°26'55"E	27.30'
L11	N82°23'41"E	51.18'	L24	N82°58'09"W	189.42'	L37	N15°10'05"E	36.61'
L12	S82°01'05"W	20.00'	L25	N65°21'39"E	75.18'			
L13	N7°36'18"W	97.43'	L26	S23°26'50"E	29.77'			

SURVEYOR'S CERTIFICATE

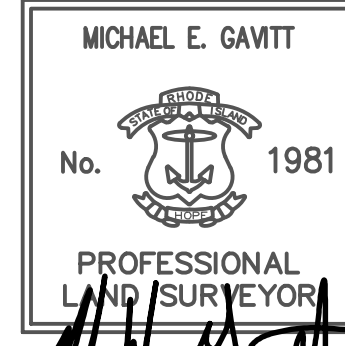
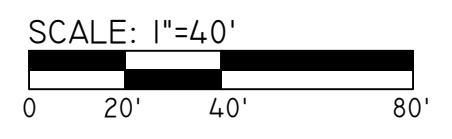
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- LIMITED CONTENT BOUNDARY SURVEY CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT FOR PREPARATION OF A SUBDIVISION RECORD PLAN.

THIS PLAN SHOULD BE INDEXED BY THE FOLLOWING STREETS:

- SAUGATUCKET ROAD



MICHAEL E. GAVITT, RPLS #1981, COA #1.S.000A160 7/16/2025

Diprete Engineering
Engineers - Planners - Surveyors
www.diprete-eng.com

Two Stafford Court, Cranston, RI 02920 • Tel 401-943-1000

RECORD PLAN
SAUGATUCKET ACRES
ASSESSOR'S PLAT 42 LOT 9
SOUTH KINGSTOWN, RHODE ISLAND

DATE	DESCRIPTION	BY
07-16-2025	RESPONSE TO COMMENTS	K.E.D.
07-28-2025	REVISION TO COMMENTS	K.E.D.
08-13-2025	PRELIMINARY SUBMISSION	K.E.D.
08-27-2025	DESCRIPTION	K.E.D.
09-02-2025	DESCRIPTION	K.E.D.

OWNER AND APPLICANT:
JAE MILLS, LLC.
90 MADISON ST STE 610, WORCESTER, MA 01608
TEL 774-696-3814