

"GREENHOUSE DISPENSARY"

in South Kingstown, Rhode Island

DATE: September 25, 2025

INDEX OF DRAWINGS

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DESCRIPTION

- COVER SHEET
- RHODE ISLAND DIGITAL AERIAL PHOTOGRAPH
- EXISTING CONDITIONS
- SITE LAYOUT PLAN
- CONCEPTUAL LIGHTING PLAN
- GRADING, DRAINAGE & UTILITY PLAN
- EROSION & SEDIMENT CONTROL PLAN
- DETAIL SHEET (1 OF 3)
- DETAIL SHEET (2 OF 3)
- DETAIL SHEET (3 OF 3)

PROPERTY NOTES:

1. LOT SHOWN IS DESIGNATED AS LOT 76 ON SOUTH KINGSTOWN ASSESSORS MAP 57-2
2. OWNER OF RECORD: - OFFSHORE DEVELOPMENT
EDGEWOOD FARM ENTERPRISES
17 ARNOLD STREET
WAKEFIELD, RI 02879
BOOK 1902 PAGE 536
3. ZONING DISTRICT: CH - COMMERCIAL HIGHWAY

GENERAL NOTES:

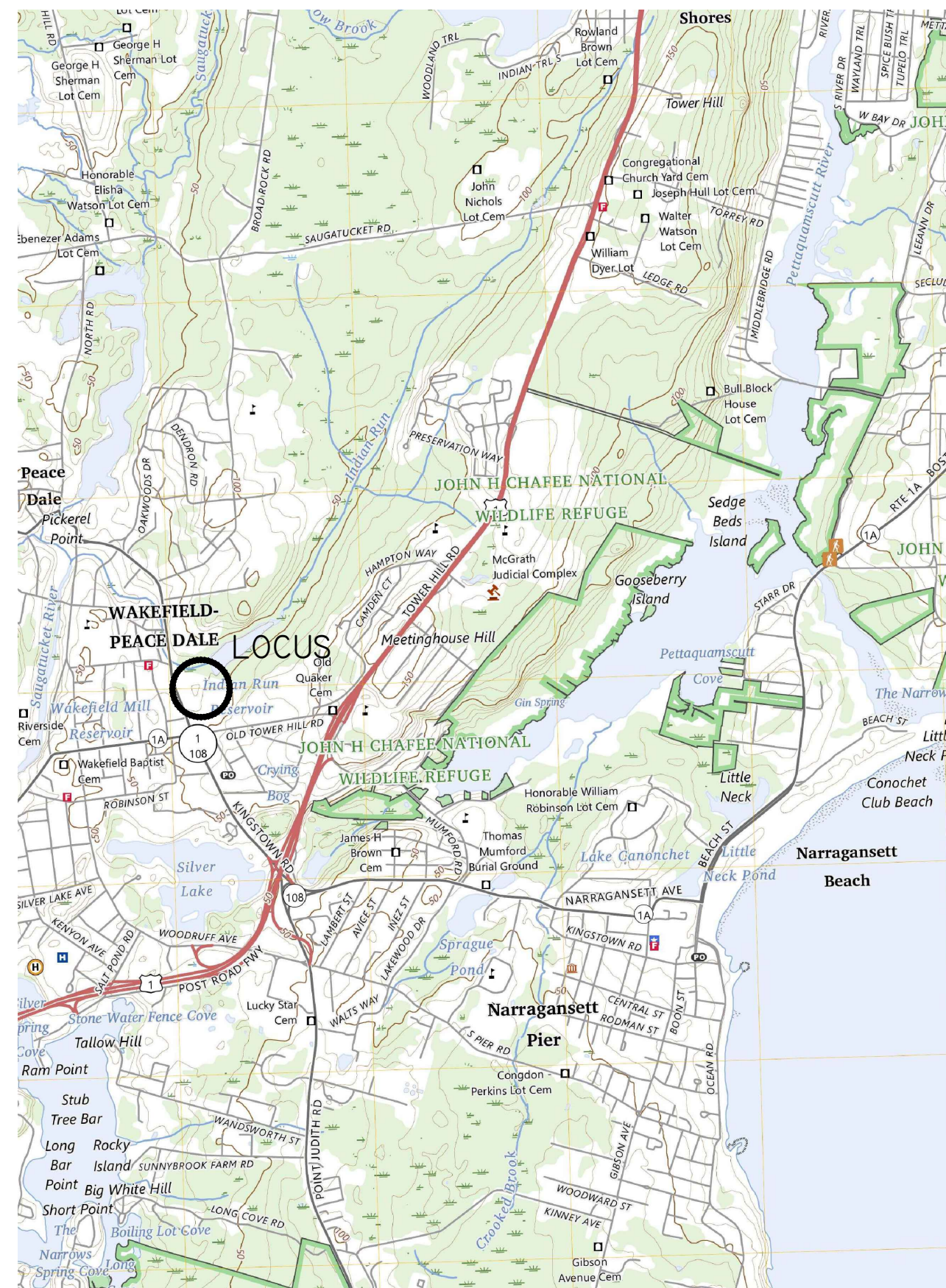
4. SITE IS PARTIALLY LOCATED IN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 44090C 0203 K EFFECTIVE ON APRIL 3, 2020.
5. FRESHWATER WETLANDS DELINEATED BY NATURAL RESOURCE SERVICES, INC. RIVERBANK AND WETLAND EDGES LOCATED BY SCITUATE SURVEYS, INC
6. FRESHWATER WETLANDS APPROVAL MAY BE REQUIRED FROM RIDEM. ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF WETLAND PERMIT NO. 20-0161.
7. THE CONTOURS AND ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
8. THE HORIZONTAL DATUM FOR THE LOCATIONS SHOWN HEREON IS THE R.I.S.P.C.
9. THERE ARE NO AREAS CONTAINING PRIME AGRICULTURAL SOILS AND NO AREAS OF ACTIVE AGRICULTURAL USE ON THE SITE.
10. THERE ARE NO KNOWN HISTORIC CEMETERIES ON THE SITE.
11. THERE ARE NO KNOWN UNIQUE HISTORIC OR NATURAL FEATURES PRESENT ON THE SITE.
12. THERE ARE NO KNOWN WATERSHEDS ON THE SITE.
13. THE SITE IS NOT LOCATED WITHIN ANY OF THE FOLLOWING AREAS: NATURAL HERITAGE AREAS, THE AREA UNDER THE JURISDICTION OF THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, THE AREA UNDER THE JURISDICTION OF THE SALT PONDS REGION SPECIAL AREA MANAGEMENT PLAN, THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT, AREAS WITHIN A TMDL WATERSHED, AN OWTS CRITICAL RESOURCE AREA, OR A DRINKING WATER SUPPLY WATERSHED.
14. THE SITE AND THE BUILDINGS HEREON ARE NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
15. EVIDENCE OF UTILITIES IS COMPILED FROM SURVEY LOCATIONS AND RECORDS PROVIDED BY OTHER SOURCES. THE UTILITY INFORMATION DEPICTED MAY NOT BE ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ALL EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR A MORE RELIABLE LAYOUT OF EXISTING UTILITIES.
16. APPROXIMATE LOCATION OF INDIAN RUN BROOK TAKEN FROM THE RHODE ISLAND D.E.M. AERIAL MAPPING WEBSITE IN APRIL, 2020.
17. ZONING LINES SHOWN ON PLAN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM THE TOWN OF SOUTH KINGSTOWN GIS DATABASE

DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL HIGHWAY - CH - ZONING DISTRICT

MINIMUM AREA	= 20,000 S.F.
FRONTAGE & WIDTH	= 100'
FRONT YARD SETBACK	= 40'
SIDE YARD SETBACK	= 30'
REAR YARD SETBACK	= 40'
MAXIMUM BUILDING HEIGHT	= 35'
MAX. % OF BUILDING COVERAGE	= 30%

Ground Water & Ledge Depth table						
Test Pit	SHWT Depth	Exist. Ground	HTM Depth	SHWT Elev.	Ledge Depth	Ledge Elev.
1	66"	39.7	7.0	34.2	8+	31.7
2	78"	40.5	6.0	34.0	7+	33.5
3	84"	40.8	7.3	33.8	9+	31.8



LOCATION MAP

SCALE 1"= 1000'

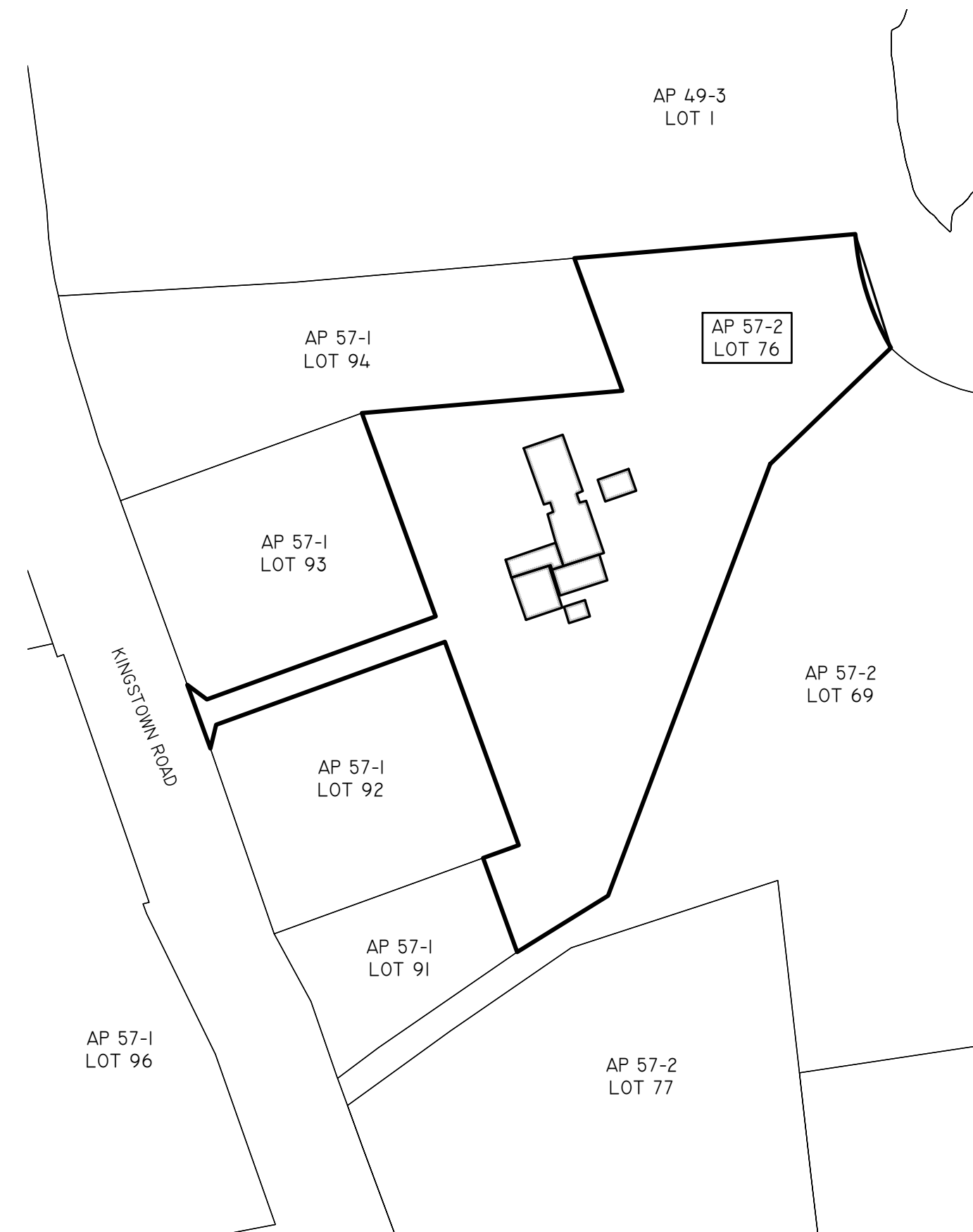
SUBJECT TO A COVENANT DULY EXECUTED DATED THE _____ DAY OF _____, RUNNING WITH THE LAND, TO BE DULY RECORDED BY OR FOR THE OWNER OF RECORD, THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE SOUTH KINGSTOWN PLANNING BOARD CERTIFICATE OF ACTION DATED _____ FILED WITH THE SOUTH KINGSTOWN TOWN CLERK ON _____ AND HERewith RECORDED AS A PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE 20 DAY STATUTORY APPEAL PERIOD.
DATE: _____
TOWN CLERK, TOWN OF South Kingstown _____

SOUTH KINGSTOWN PLANNING BOARD
APPROVED UNDER SUBDIVISION CONTROL LAW

NOT FOR
CONSTRUCTION

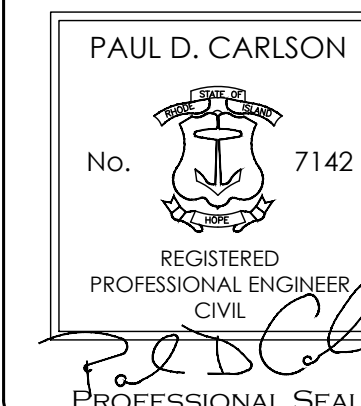
REGISTRY USE ONLY



SITE MAP

SCALE 1"= 100'

COVER SHEET



"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET WAKEFIELD, RI 02879

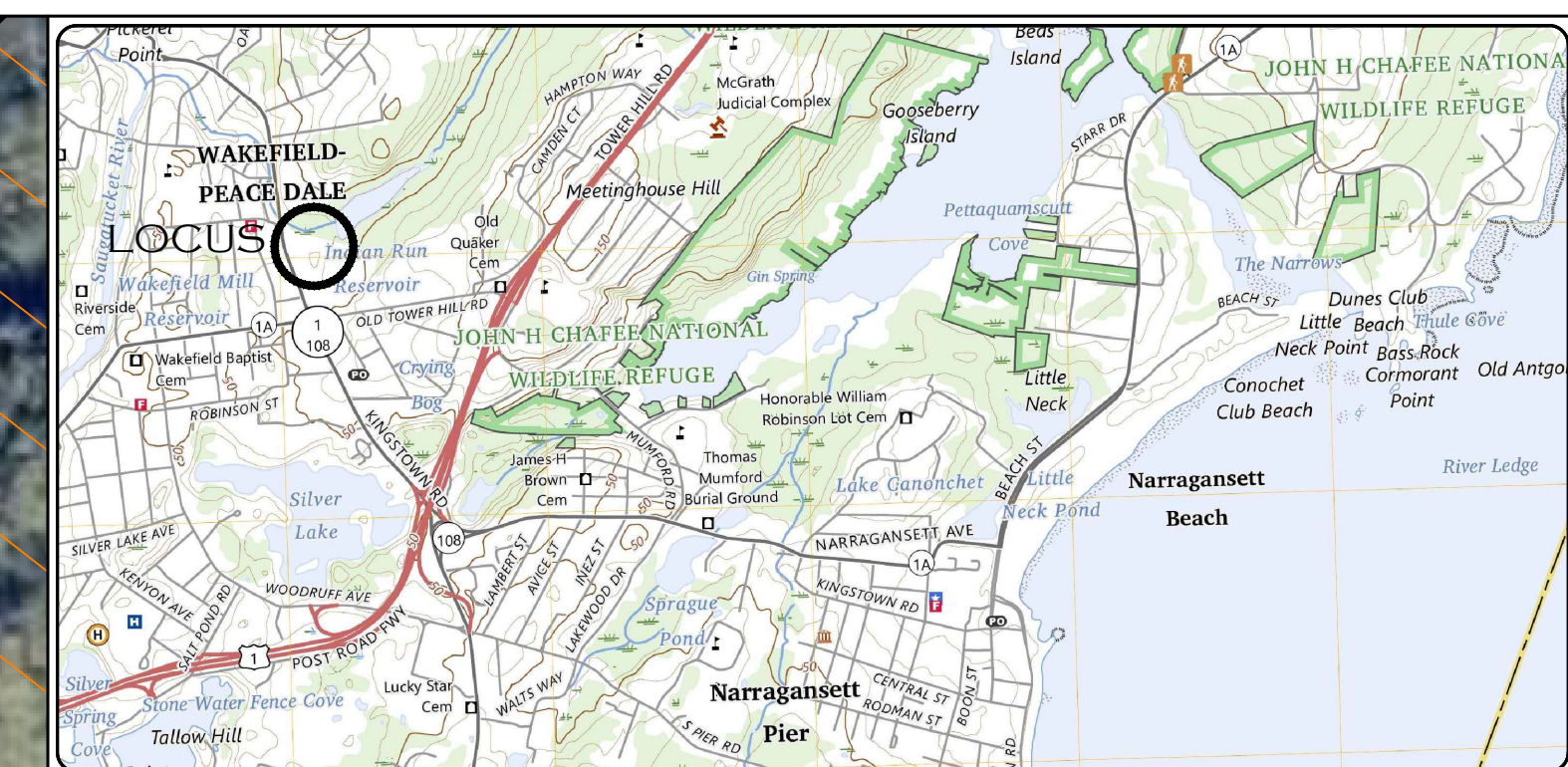
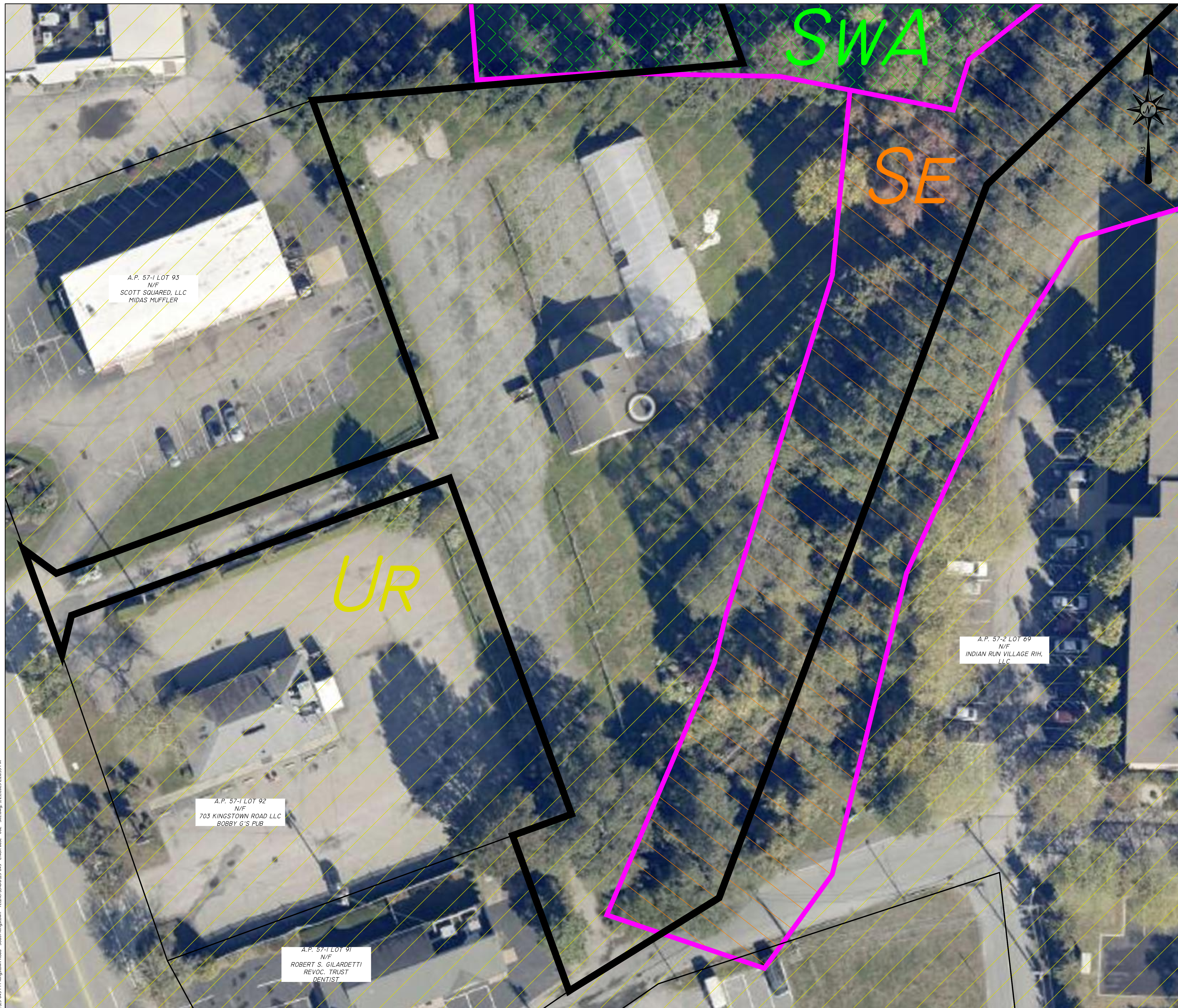
JOB # 24-045 SCALE: AS SHOWN DRAWN BY: LJJ DATE: SEPTEMBER 25, 2025

REVISED:



InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET
1
OF 10



LOCATION (NOT TO SCALE) MAP

PROPERTY NOTES:




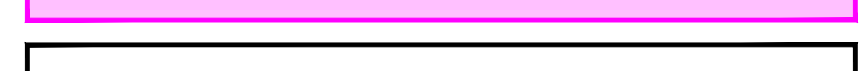

- LOT SHOWN IS DESIGNATED AS LOT 76 ON SOUTH KINGSTOWN ASSESSORS MAP 57-2
- OWNER OF RECORD - OFFSHORE DEVELOPMENT
EDGEWOOD FARM ENTERPRISES
17 ARNOLD STREET
WAKEFIELD, RI 02879
BOOK 1902 PAGE 536
- ZONING DISTRICT: CH - COMMERCIAL HIGHWAY

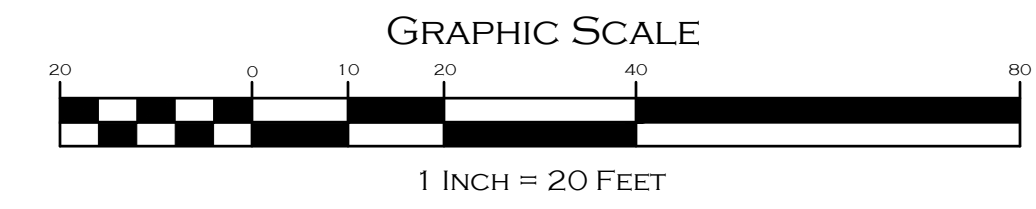
DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL HIGHWAY - CH - ZONING DISTRICT

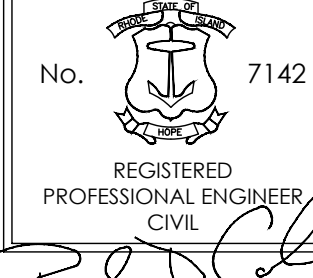
MINIMUM AREA	= 20,000 S.F.
FRONTAGE & WIDTH	= 100'
FRONT YARD SETBACK	= 40'
SIDE YARD SETBACK	= 30'
REAR YARD SETBACK	= 40'
MAXIMUM BUILDING HEIGHT	= 35'
MAX. % OF BUILDING COVERAGE	= 30%

SOIL GROUPS: NOTES:

UR - URBAN LAND - RATING B/D	
SE - STISSING SILT LOAM - RATING D	
SWA - SWANSEA MUCK - RATING B/D	
SOIL BOUNDARY	
SUBJECT PROPERTY	



RHODE ISLAND DIGITAL AERIAL PHOTOGRAPH

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL


"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET, WAKEFIELD, RI 02879

JOB # 25-045	SCALE: 1" = 20'	DRAWN BY: LJG	DATE: SEPTEMBER 25, 2025
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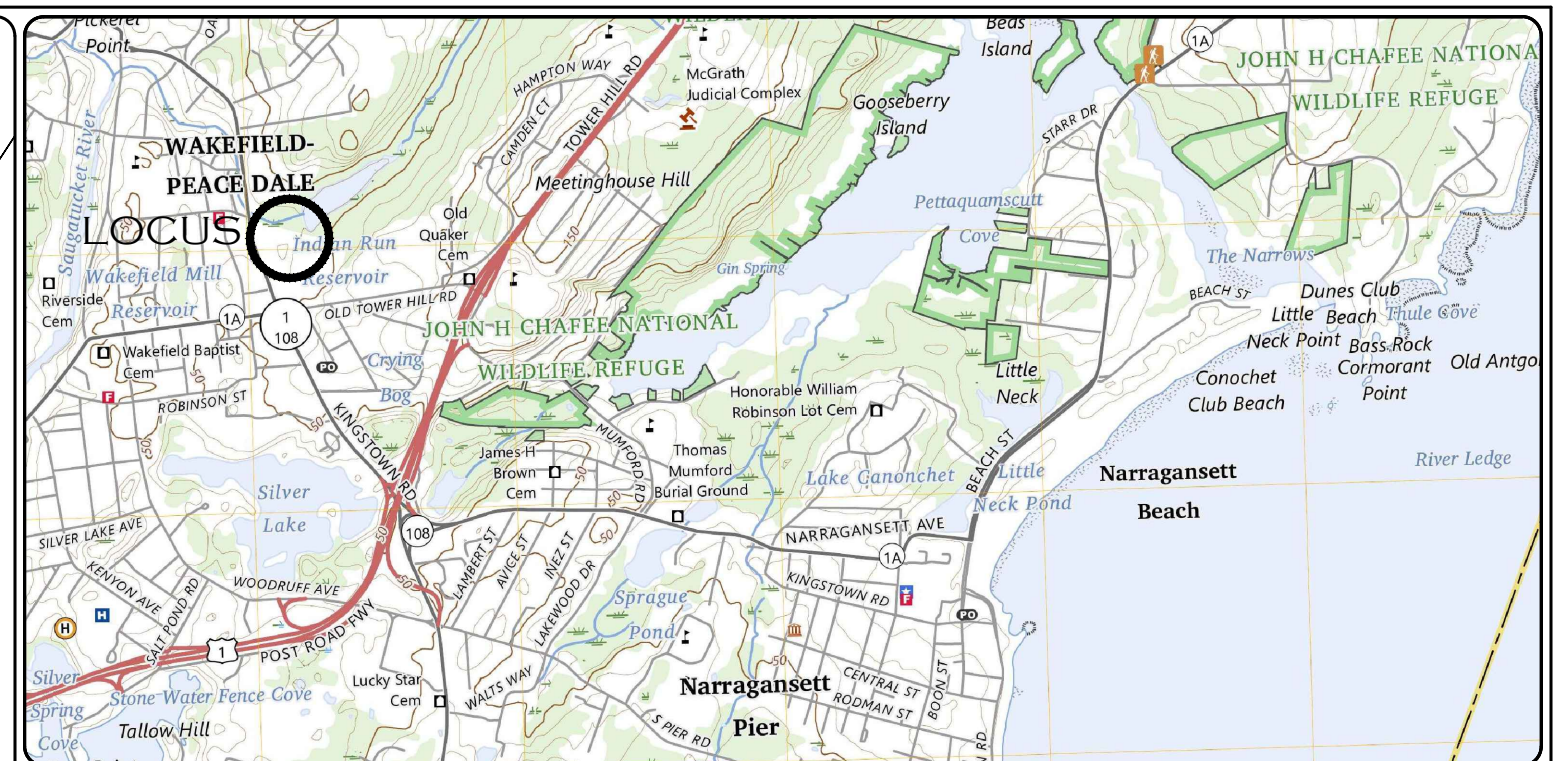
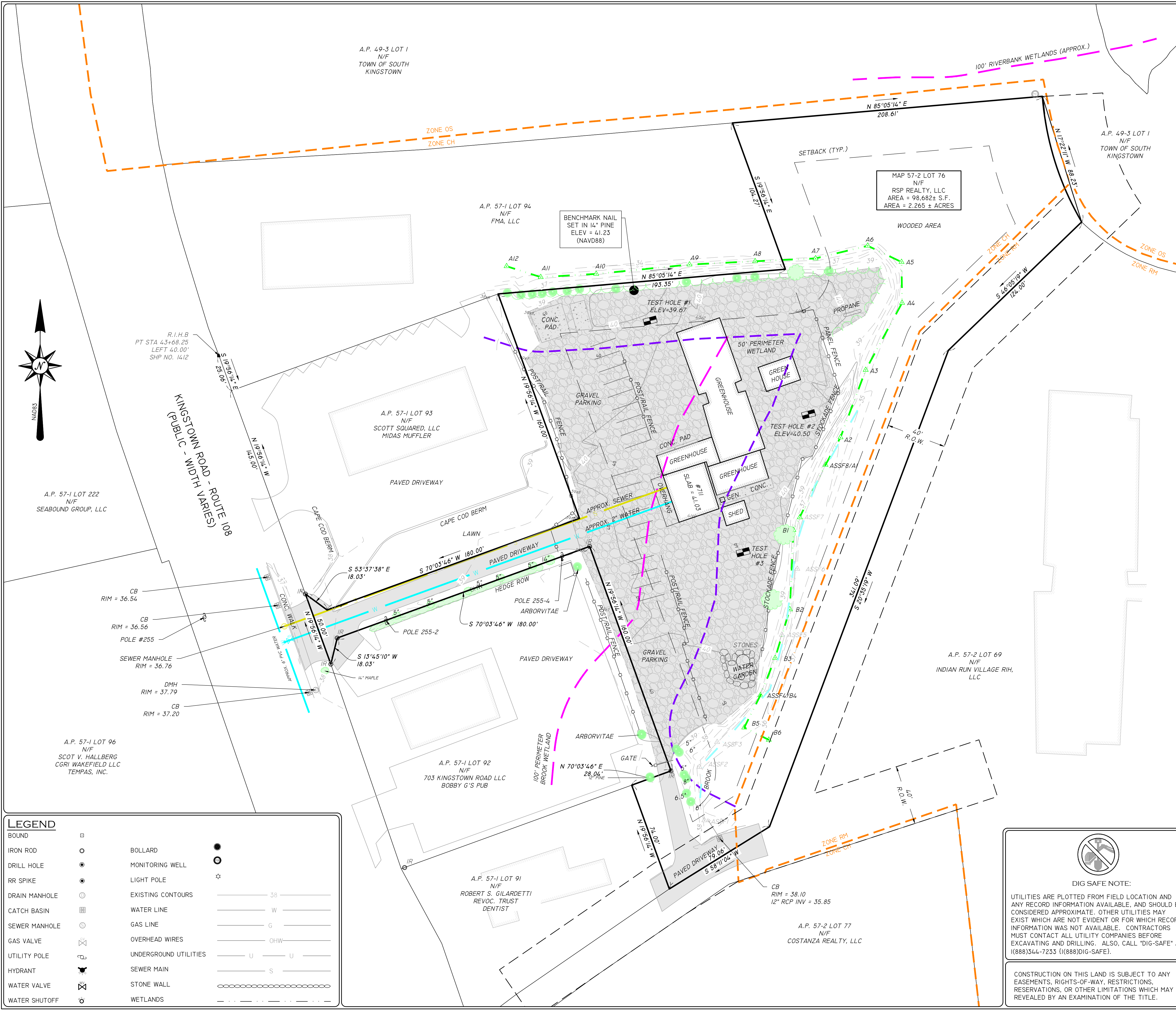
REVISED:

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

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Phone: (508) 336-4500 Fax: (508) 336-4558
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SHEET
2
OF 10

A:\25-045\711 Kingstown Road - South Kingstown - Termer\CADD\25-045 - ERGR Base - 002 - Site.dwg, 9/25/2025 2:28:05 PM



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17 ARNOLD STREET
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SURVEY CERTIFICATION REFERENCE:

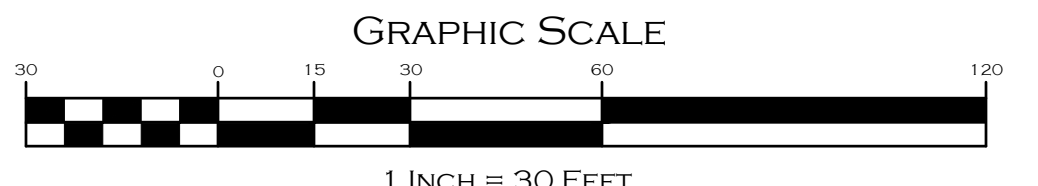
EXISTING CONDITIONS PLAN OF PROPOSED COMPASSION CENTER - ASSESSOR'S PLAT 57-2 LOT 76 KINGSTOWN ROAD, SOUTH KINGSTOWN, RHODE ISLAND; PREPARED FOR: RHODE ISLAND CARE CONCEPTS, INC. BY: SCITUATE SURVEYS, INC.; DATED JUNE 13, 2020; SCALE: 1" = 30'

GENERAL NOTES:

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- FRESHWATER WETLANDS DELINEATED BY NATURAL RESOURCE SERVICES, INC. RIVERBANK AND WETLAND EDGES LOCATED BY SCITUATE SURVEYS, INC
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- ZONING LINES SHOWN ON PLAN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM THE TOWN OF SOUTH KINGSTOWN GIS DATABASE

EXISTING LOT COVERAGE:

BUILDINGS:	5,100 S.F.	5.2%
BIT PAVEMENT:	3,700 S.F.	3.7%
GRAVEL PAVEMENT:	35,245 S.F.	35.7%
CONC. WALKS / PADS:	1,245 S.F.	1.3%
LANDSCAPED / WOODS:	53,392 S.F.	54.1%



EXISTING CONDITIONS PLAN

LEGEND

BOUND	□	BOLLARD	●
IRON ROD	○	MONITORING WELL	⊙
DRILL HOLE	●	LIGHT POLE	☆
RR SPIKE	●	EXISTING CONTOURS	— 38 —
DRAIN MANHOLE	⊙	WATER LINE	— W —
CATCH BASIN	⊙	GAS LINE	— G —
SEWER MANHOLE	⊙	OVERHEAD WIRES	— OHW —
GAS VALVE	⊙	UNDERGROUND UTILITIES	— U —
UTILITY POLE	⊙	SEWER MAIN	— S —
HYDRANT	⊙	STONE WALL	— ○ —
WATER VALVE	⊙	WETLANDS	— · · · —
WATER SHUTOFF	⊙		

DIG SAFE NOTE:

UTILITIES ARE PLOTTED FROM FIELD LOCATION AND ANY RECORD INFORMATION AVAILABLE, AND SHOULD BE CONSIDERED APPROXIMATE. OTHER UTILITIES MAY EXIST WHICH ARE NOT EVIDENT OR FOR WHICH RECORD INFORMATION WAS NOT AVAILABLE. CONTRACTORS MUST CONTACT ALL UTILITY COMPANIES BEFORE EXCAVATING AND DRILLING. ALSO, CALL "DIG-SAFE" AT (888)344-7233 ((888)DIG-SAFE).

CONSTRUCTION ON THIS LAND IS SUBJECT TO ANY EASEMENTS, RIGHTS-OF-WAY, RESTRICTIONS, RESERVATIONS, OR OTHER LIMITATIONS WHICH MAY BE REVEALED BY AN EXAMINATION OF THE TITLE.

"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02879
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET, WAKEFIELD, RI 02879

NO. 7142
REGISTERED PROFESSIONAL ENGINEER CIVIL
PAUL D. CARLSON

JOB # 24-045
SCALE: 1" = 30'
DRAWN BY: LJJ
DATE: SEPTEMBER 25, 2025

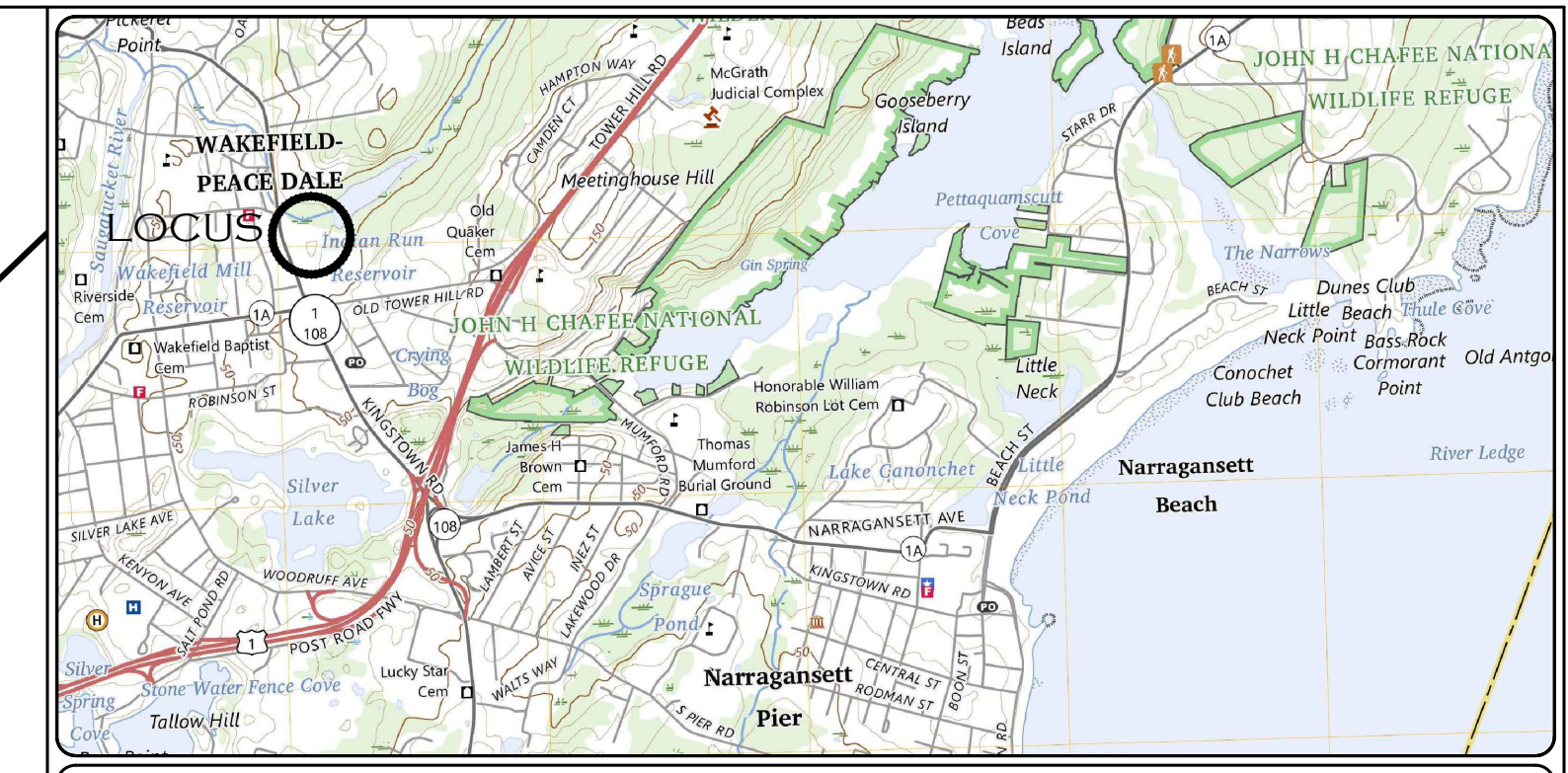
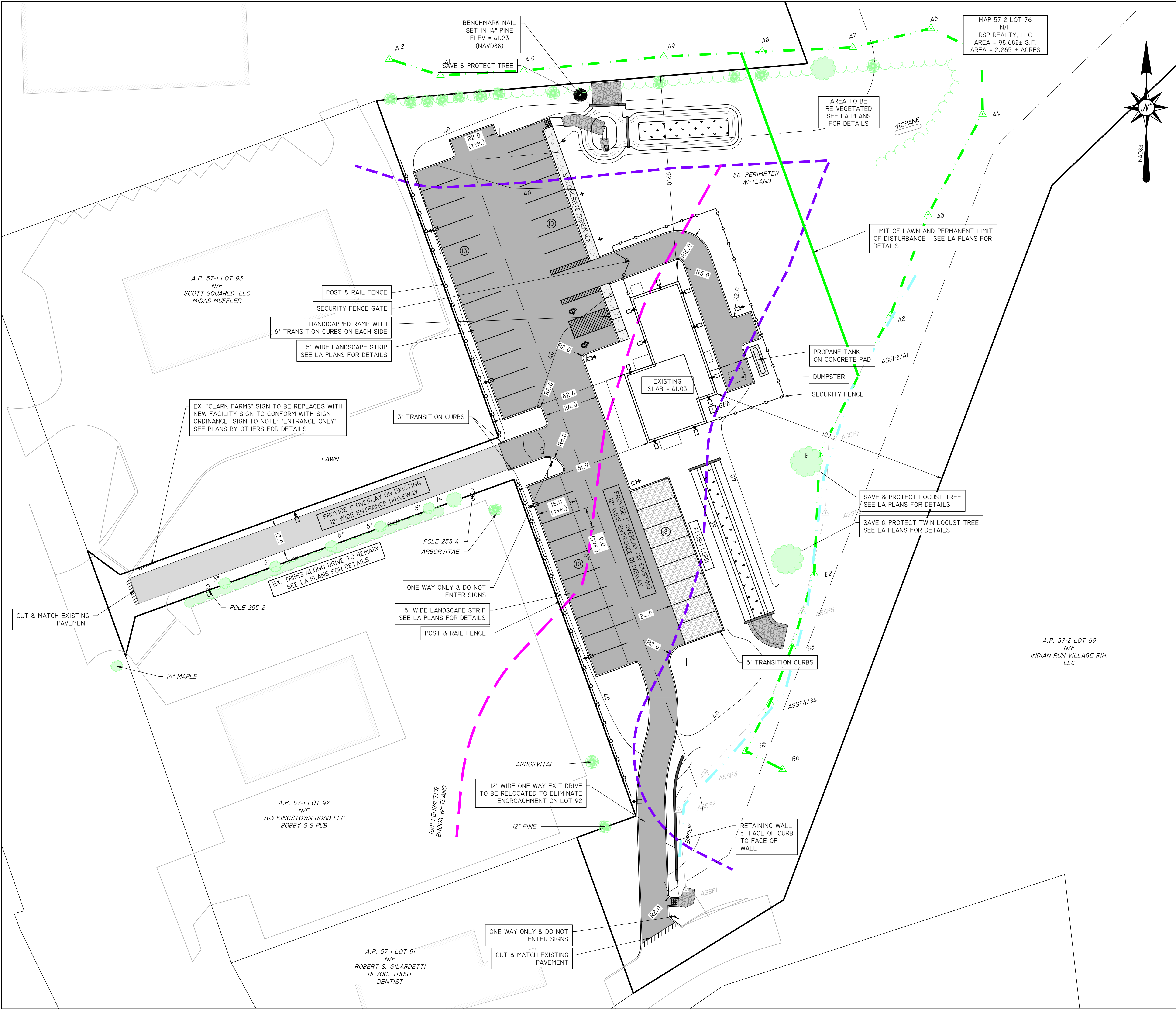
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SHEET 3 OF 10

1/25/2025 11:11 AM Kingstown - South Kingstown - TerenceCAD/25-045 - ENR Base - 002 - Site.dwg, 9/25/2025 2:28:06 PM



LOCATION (NOT TO SCALE) MAP

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EDGEWOOD FARM ENTERPRISES
17 ARNOLD STREET
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DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL HIGHWAY - CH - ZONING DISTRICT	
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FRONT YARD SETBACK	= 40'
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REAR YARD SETBACK	= 40'
MAXIMUM BUILDING HEIGHT	= 35'
MAX. % OF BUILDING COVERAGE	= 30%

EXISTING LOT COVERAGE:

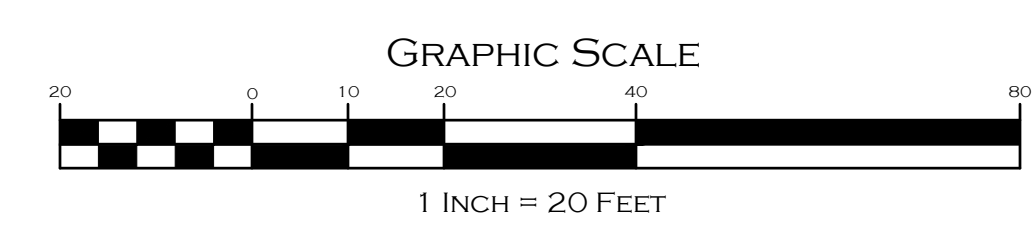
BUILDINGS:	5,100 S.F.	5.2%
BIT PAVEMENT:	3,700 S.F.	3.7%
GRAVEL PAVEMENT:	35,245 S.F.	35.7%
CONCRETE WALKS / PADS:	1,245 S.F.	1.3%
LANDSCAPED / WOODS:	53,392 S.F.	54.1%

PROPOSED LOT COVERAGE:

BUILDINGS:	1,815 S.F.	1.8%
OVERHANGS:	410 S.F.	0.4%
BIT PAVEMENT:	15,810 S.F.	16.0%
GRASS PAVERS:	1,320 S.F.	1.3%
CONCRETE WALKS / PADS:	705 S.F.	0.7%
LANDSCAPED / WOODS:	78,622 S.F.	79.8%

- SITE NOTES:**
- ALL AREAS WITHIN THE LIMITS OF SITE DISTURBANCE NOT OTHERWISE DESIGNATED SHALL BE LANDSCAPED OR LOAMED & SEEDING, SEE LANDSCAPE ARCHITECT PLANS.
 - TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE SITE PERIMETER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK IS ALLOWED.
 - A CONTINUOUS LINE OF EROSION CONTROL SHALL BE INSTALLED ALONG THE LIMITS OF SITE DISTURBANCE AND SHALL BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED.
 - PARKING LOT AND BUILDING SECURITY LIGHTING SHALL HAVE CUT OFF TYPE FIXTURES THAT SHALL PREVENT LIGHT INTRUSION ONTO ADJUTING PROPERTIES OR TOWARDS WETLANDS.

NOT FOR CONSTRUCTION



SITE LAYOUT PLAN

"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET, WAKEFIELD, RI 02879

JOB # 25-045 SCALE: 1" = 20' DRAWN BY: LJJ DATE: SEPTEMBER 25, 2025

REVISED:

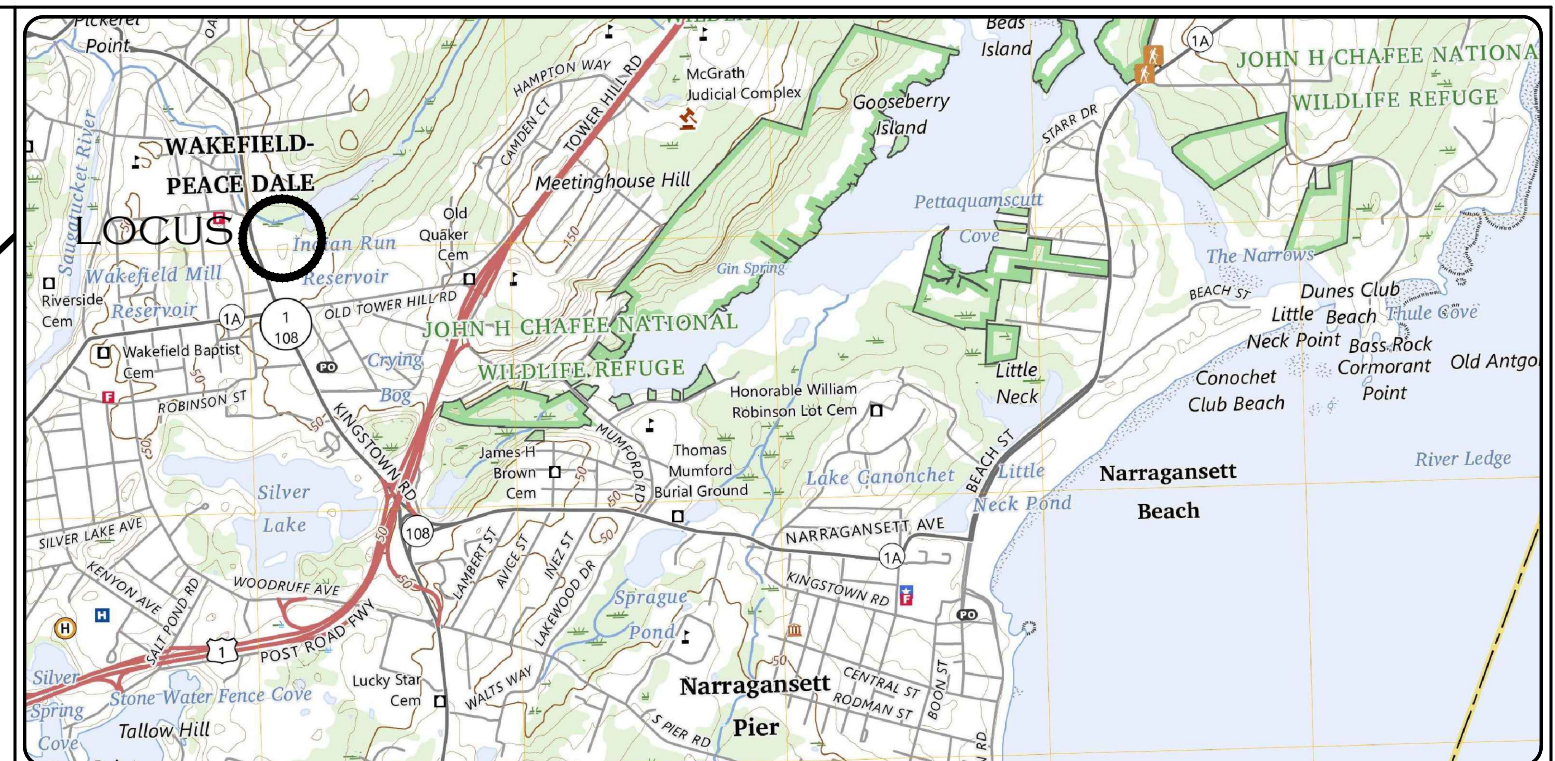
PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL

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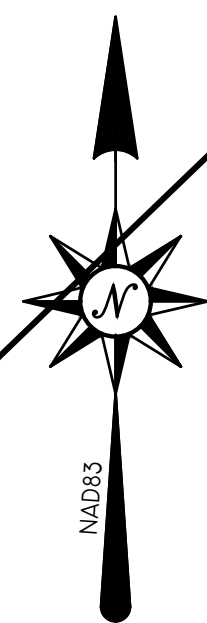
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SHEET 4 OF 10

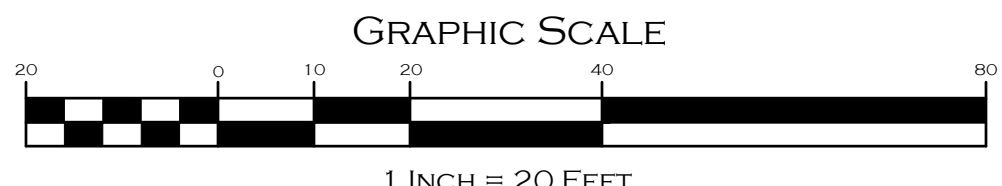
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LOCATION (NOT TO SCALE) MAP



NOT FOR CONSTRUCTION



CONCEPTUAL LIGHTING PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
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SHEET 5 OF 10

I:\25-045\711 Kingstown Road - South Kingstown - Termer\CADD\25-045 - ENGR Base - 002 - Sheet.dwg, 9/25/2025 2:29:00 PM

DISCLAIMER:

-THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

SCHEDULE

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Light Loss Factor	Wattage
	A	4	Lithonia Lighting	DSX1 LED P2 30K 80CRI BLC4	DSX1 TYPE IV BACKLIGHT CONTROL MOUNTED @ 20'-0" AFF *ADVISE POLE*	0.9	67.79
	B	0	Lithonia Lighting	DSX1 LED P1 30K 80CRI T4M	DSX1 TYPE IV MEDIUM TWIN HEAD MOUNTED @ 20'-0" AFF *ADVISE POLE*	0.9	101.8
	C	3	Lithonia Lighting	DSX1 LED P1 30K 80CRI T2M HS	DSX1 TYPE II MEDIUM MOUNTED @ 20'-0" AFF *ADVISE POLE*	0.9	50.9015
	D	10	Lithonia Lighting	WPX1 LED P2 30K Mvolt	WPX1 WALL MOUNTED @ 15'-0"	0.9	23.26

STATISTICS

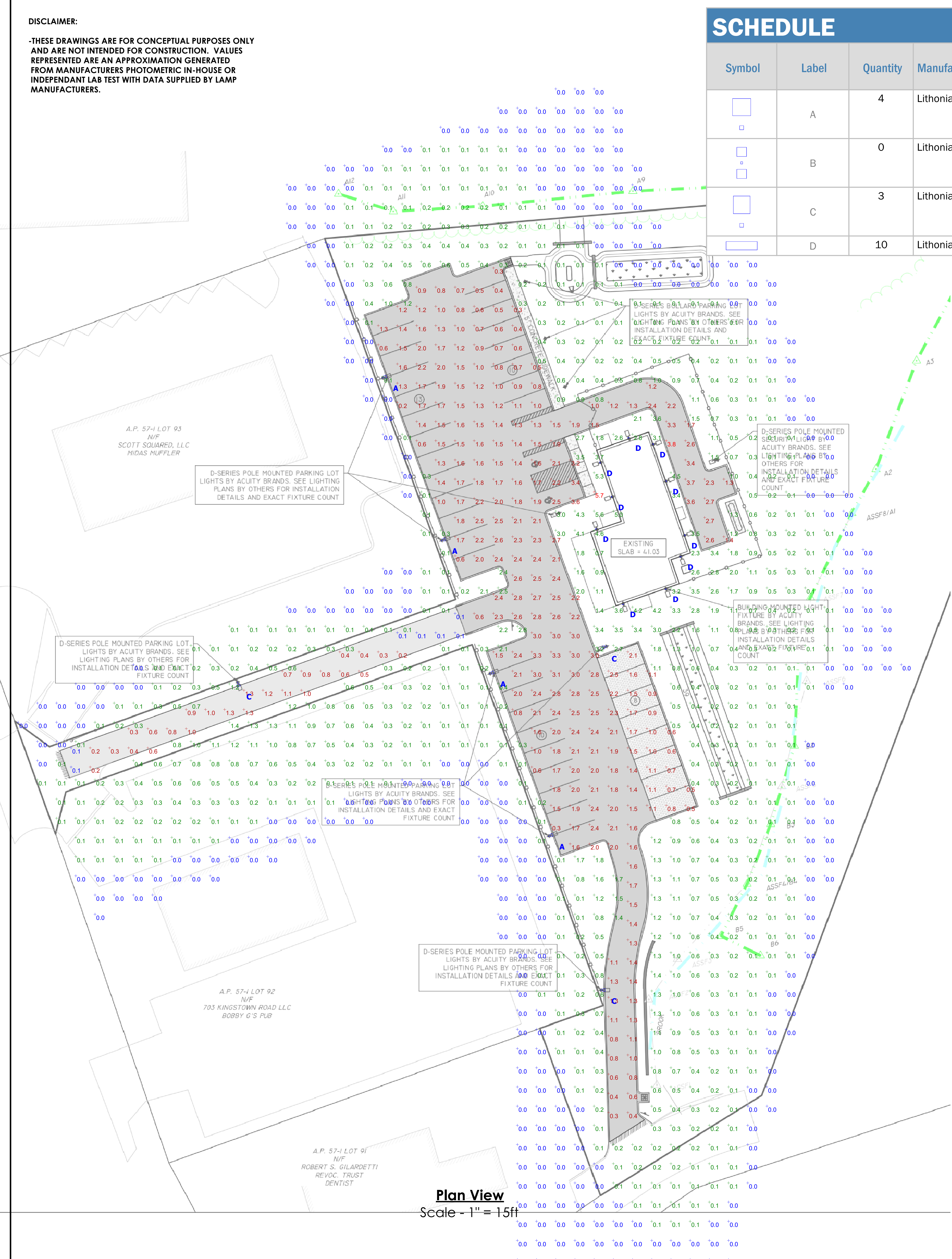
DESCRIPTION	SYMBOL	AVG.	MAX	MIN.	MAX/MIN	AVG/MIN
GROUND	+	0.4 fc	5.7 fc	0.0 fc	N/A	N/A
PAVEMENT	+	1.6 fc	3.8 fc	0.1 fc	38.0:1	16.0:1

NOTES:

-REFLECTANCES ASSUMED:
WALL: 50
FLOOR: 20

- MOUNTING HEIGHTS:
POLES: 20'-0"
WALL PACK: 15'-0"

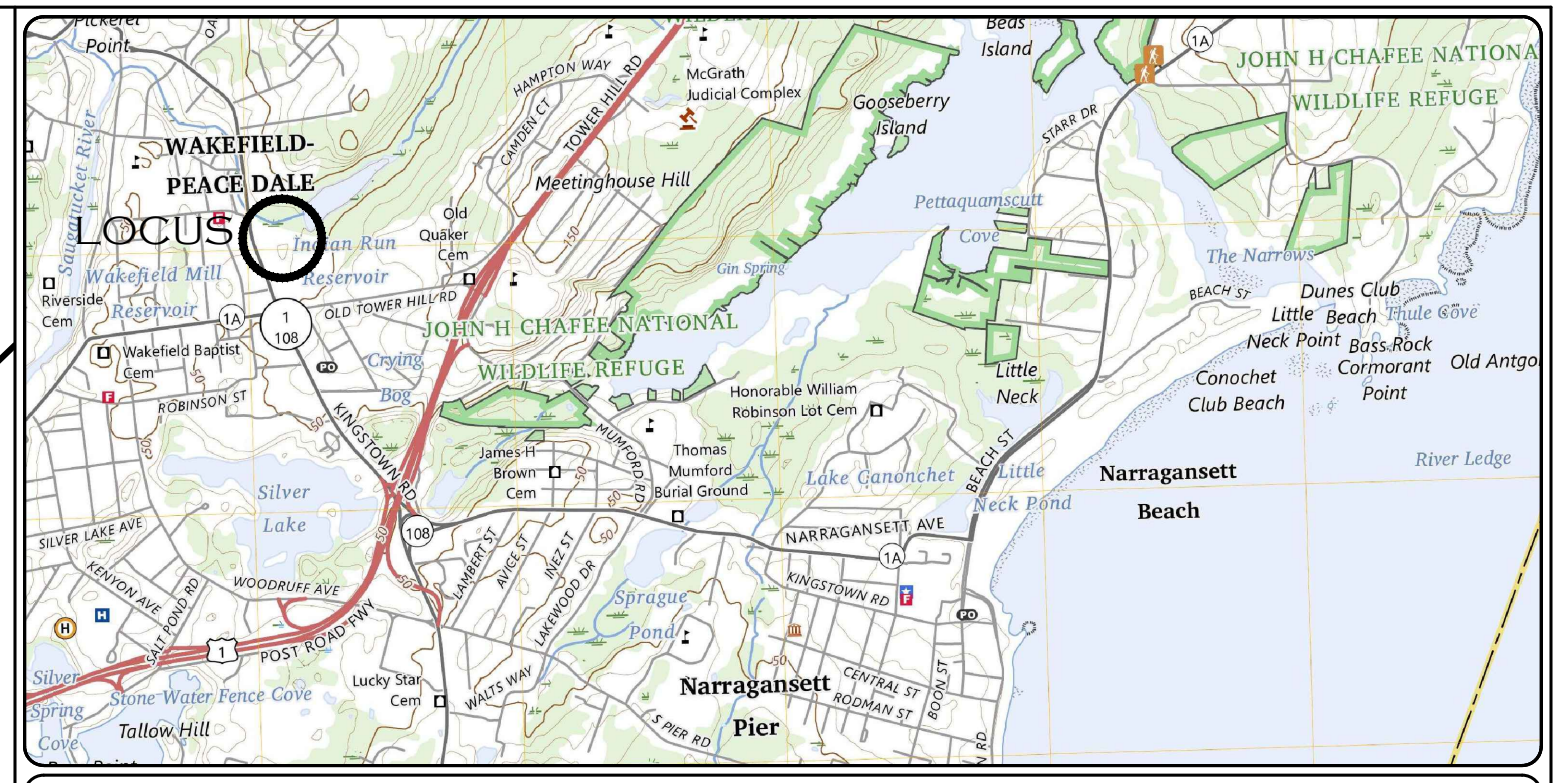
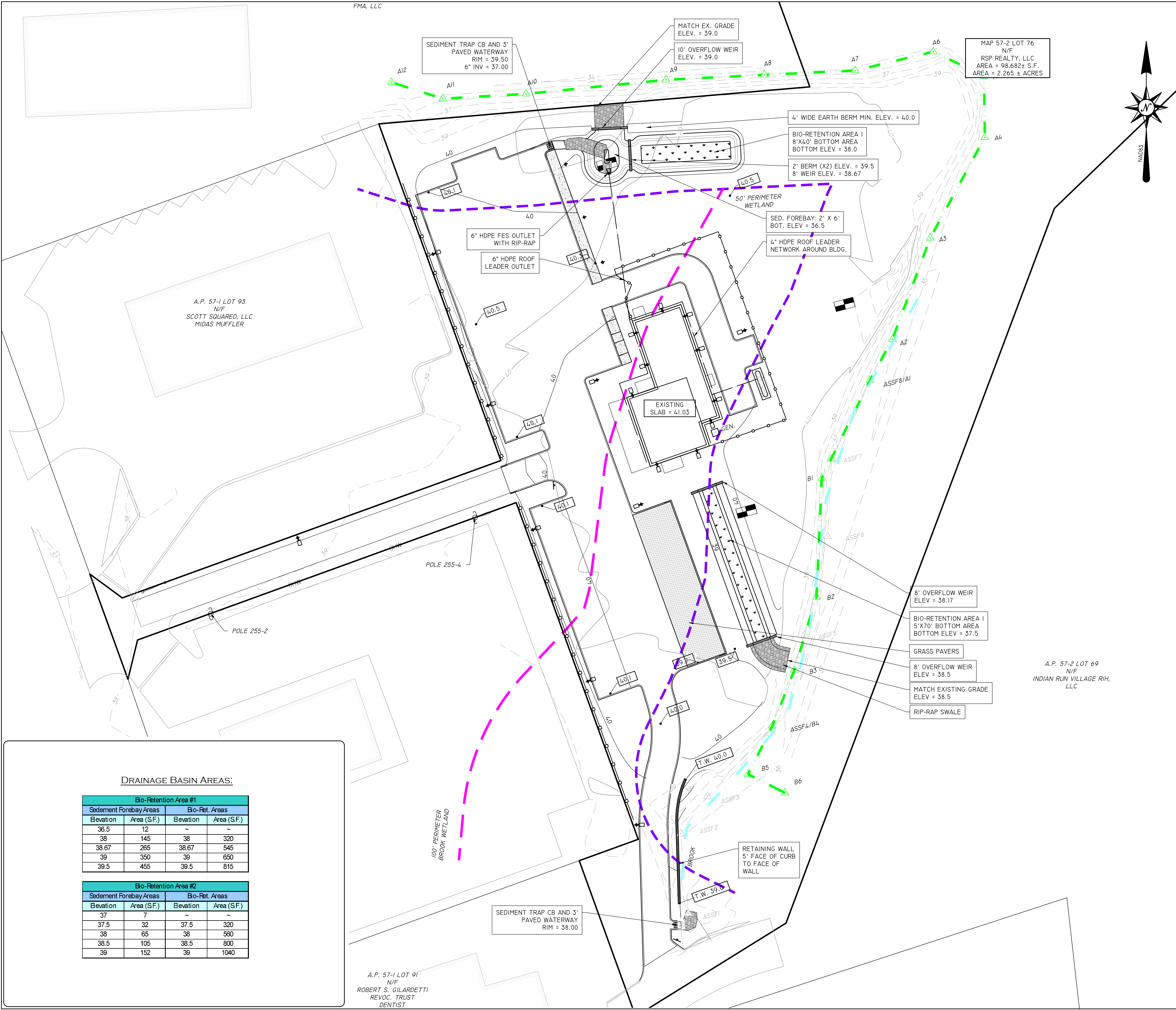
- TASK HEIGHT: 0' ABOVE GRADE
- CALCULATION POINT SPACING: 8'X8' OC



Plan View
Scale - 1" = 15ft



711 Kingston Rd
09-24-2025



LOCATION (NOT TO SCALE) MAP

SOIL EVALUATIONS:

Ground Water & Ledger Depth table						
Test Pit	SHWT Depth	Exist. Ground	FTM Depth	SHWT Elev.	Ledge Depth	Ledge Elev.
1	66"	39.7	7.0'	34.2	8+	31.7
2	78"	40.5	6.0'	34.0	7+	33.5
3	84"	40.8	7.3'	33.8	9+	31.8

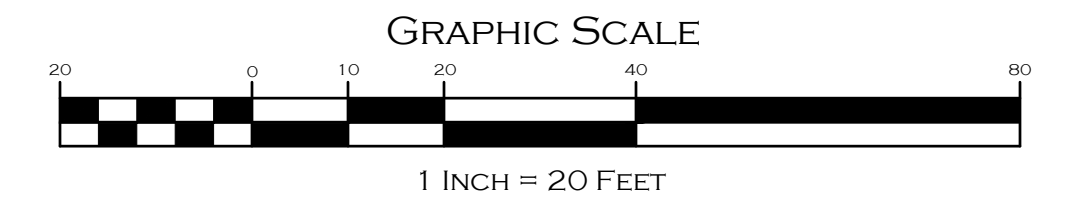
UTILITY NOTES:

- LOCATIONS, MATERIALS & SIZES OF EXISTING UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- EXPLORATORY TEST PITS SHALL BE EXCAVATED TO CONFIRM THE LOCATION, SIZE & DEPTH AT ANY CONNECTION OR CRITICAL UTILITY AREA, AS REQUIRED.
- EXISTING UTILITY SERVICES TO THE BUILDINGS SHALL BE UTILIZED WHERE POSSIBLE AND UPGRADED AS REQUIRED BY THE UTILITY AUTHORITY OR ARCHITECTS SPECS OR MEP PLANS.
- SEE BUILDING, PLUMBING & MECHANICAL PLANS FOR WATER, SEWER & GAS SERVICE LOCATION, SIZES AND DETAILS.
- SEE ELECTRICAL & LIGHTING PLANS FOR POWER SERVICE, COMMUNICATIONS, SITE LIGHTING, TELEPHONE, CABLE AND WIRING DETAILS.
- UTILITY SERVICE INSTALLATIONS SHALL BE APPROVED AND INSPECTED BY THE APPROPRIATE UTILITY COMPANY.
- THE PROJECT SHALL BE SERVICED BY EXISTING UTILITIES LOCATED IN KINGSTOWN ROAD. SERVICES SHALL BE UPGRADED AS REQUIRED.

DRAINAGE & GRADING NOTES:

- CATCH BASINS SHALL BE 4' I.D. PRECAST CONC. WITH 4' SUMP RI STD. 4.4.0 WITH FRAME & GRATES RI STD. 6.3.2
- FRAME & GRATES SHALL BE SET 2" BELOW DESIGN GRADE UNTIL FINAL PAVEMENT COURSE IS TO BE INSTALLED. AT FINAL PAVING, RAISE FRAME AND GRATE TO DESIGN GRADE.
- DRAINAGE PIPING SHALL BE HDPE ADS-N-12 ST (SOIL TIGHT) OR SDR-35 PVC.
- ALL CATCH BASINS, DRAINAGE INLETS AND OUTLETS SHALL HAVE STAKED STRAW BALE OR SILT SOCK PERIMETER EROSION CHECKS WHICH SHALL BE MAINTAINED AND REPLACED AS REQUIRED UNTIL THE SITE IS FULLY STABILIZED.
- SEDIMENT FOREBAYS AND BIO-RETENTION AREAS SHALL BE CONSTRUCTION STAKED BY THE PROJECT SURVEYOR TO INSURE ACCURATE LOCATION AND ELEVATION. THE PROJECT SURVEYOR SHALL AS-BUILT SURVEY THESE AREAS PRIOR TO SEEDING AND PROVIDE AN AS-BUILT PLAN TO S.F.M. ENGINEERING. ANY DISCREPANCIES SHALL BE CORRECTED PRIOR TO SEEDING.
- TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE SITE PERIMETER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK IS ALLOWED.
- ELEVATIONS AT CURB ARE BOTTOM OF CURB UNLESS NOTED T.C. (TOP OF CURB) CURB REVEALS ARE 6" TYPICAL
- GRADING AT ALL SIDEWALK RAMP SHALL COMPLY WITH RI STD. 4.3.3.0 OR 4.3.3.1 ALL WALKS SHALL HAVE A MAXIMUM SLOPE OF 5%.
- ALL CONSTRUCTION TRAFFIC SHALL ENTER VIA THE EXISTING DRIVEWAY FROM KINGSTOWN ROAD AND EXIT VIA THE SOUTH DRIVEWAY. A RIP-RAP CONSTRUCTION EXIT SHALL BE MAINTAINED UNTIL THE SITE IS READY FOR PAVING. SEE DETAIL ON SHEET C6.
- STOCKPILE AREAS FOR SOILS & OTHER ERODIBLE MATERIALS SHALL BE SURROUNDED BY A CONTINUOUS LINE OF EROSION CONTROLS.

NOT FOR CONSTRUCTION



GRADING, DRAINAGE & UTILITY PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET, WAKEFIELD, RI 02879

JOB # 25-045 SCALE: 1" = 20' DRAWN BY: LJJ DATE: SEPTEMBER 25, 2025

REVISED:

INSITE Engineering Services, LLC
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Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue, Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InsiteEngineers.com

SHEET 6 OF 10

DRAINAGE BASIN AREAS:

Bio-Retention Area #1			
Sediment Forebay Areas		Bio-Ret. Areas	
Elevation	Area (SF)	Elevation	Area (SF)
36.5	12	~	~
38	145	38	320
38.67	265	38.67	545
39	350	39	650
39.5	455	39.5	815

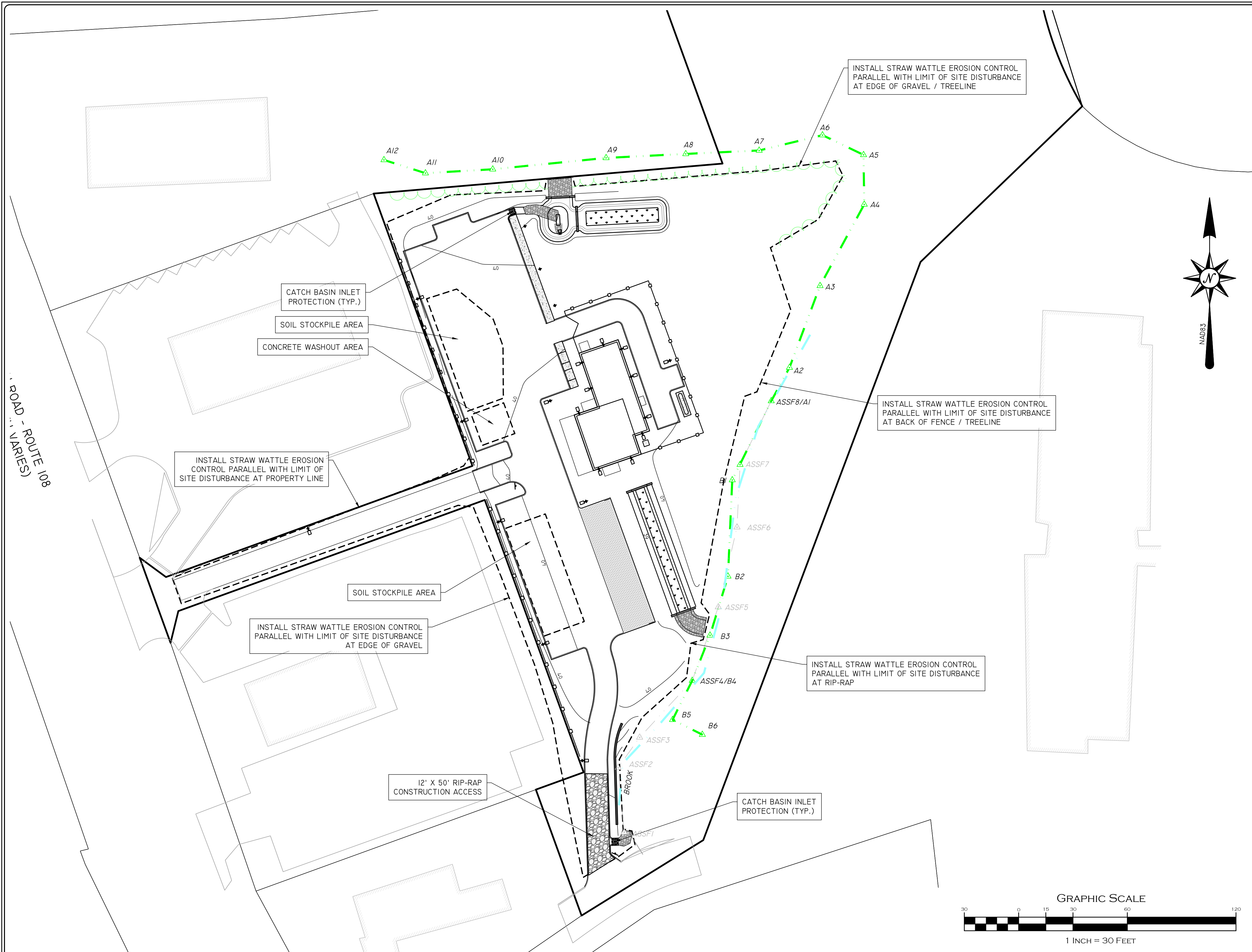
Bio-Retention Area #2			
Sediment Forebay Areas		Bio-Ret. Areas	
Elevation	Area (SF)	Elevation	Area (SF)
37	7	~	~
37.5	32	37.5	320
38	65	38	560
38.5	105	38.5	800
39	152	39	1040

A.P. 57-1 LOT 91
N/F
ROBERT S. GILARDETTI
REVOC. TRUST
DENTIST

A.P. 57-2 LOT 69
N/F
INDIAN RUN VILLAGE RIH,
LLC

MAP 57-2 LOT 76
N/F
RSP REALTY, LLC
AREA = 98,682± S.F.
AREA = 2.265 ± ACRES

A.P. 57-1 LOT 93
N/F
SCOTT SQUARED, LLC
MIDAS MUFFLER



OPERATION & MAINTENANCE PLAN NOTES:
 THE MAINTENANCE AND UPKEEP ON THE EXISTING ROADWAY WILL INCLUDE THE FOLLOWING ELEMENTS:

CONSTRUCTION VEHICLES SHALL BE LIMITED TO ONE ACCESS POINT ON EACH LOT WHERE A CRUSHED-STONE CONSTRUCTION PAD ENTRANCE SHALL BE INSTALLED IN THE AREA OF THE PERMANENT DRIVEWAY TO ENSURE THAT MUD AND DEBRIS ARE NOT TRACKED ONTO THE ROADWAY. IF MUD IS INADVERTENTLY TRACKED ONTO THE ROAD, IT SHOULD BE REMOVED PROMPTLY.

GENERAL MAINTENANCE OF EROSION CONTROL ELEMENTS INCLUDING REGRADING, REVEGETATION, REPLACING RIPRAP, ETC., ON AN AS NEEDED BASIS.

STORMCEPTER, INFILTRATION FACILITY AND CATCH BASINS WILL BE INSPECTED SEMI-ANNUALLY BY THE OWNER AND WILL BE MAINTAINED AS REQUIRED.

BUILD UP OF SEDIMENTATION AND DEBRIS SHALL BE MONITORED AND REMOVED ON A SEMI-ANNUALLY BASIS IN ORDER TO KEEP THE DISCHARGES AND FLOWS INTO THE INFILTRATION FACILITY FUNCTIONING PROPERLY.

ALL STORMWATER MANAGEMENT SYSTEMS MUST HAVE AN OPERATION AND MAINTENANCE PLAN TO ENSURE THAT SYSTEMS FUNCTION AS DESIGNED.

THE OWNER WILL BE RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM AND ALL OF ITS APPURTENANCES. THE FOLLOWING MAINTENANCE PROGRAM SHALL BE IMPLEMENTED:

A. DEEP SUMP CATCH BASINS

- AT A MINIMUM, DEEP SUMPS SHALL BE CLEANED FOUR (4) TIMES PER YEAR, PREFERABLY MONTHLY FOR MAXIMUM EFFICIENCY.
- ALL SEDIMENTS SHALL BE HANDLED PROPERLY AND DISPOSED IN COMPLIANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS.

B. BIORETENTION BASIN

- INSPECT FACILITY FOR SIGNS OF WETNESS OR DAMAGE TO STRUCTURES TWICE A YEAR.
- IF DEAD OR DYING GRASS ON THE BOTTOM IS OBSERVED, CHECK TO ENSURE THAT WATER PERCOLATES 2-3 DAYS FOLLOWING STORMS.
- SEED OR SOD TO RESTORE GROUND COVER.
- NOTE SIGNS OF PETROLEUM HYDROCARBON CONTAMINATION AND HANDLE PROPERLY.
- SHALL BE MOWED TO NO LESS THAN 4 INCHES AND ALL GRASS CLIPPING SHALL BE REMOVED AFTER MOWING
- TRASH AND OTHER DEBRIS SHOULD BE REMOVED.
- ANY NECESSARY REPAIRS SHOULD BE MADE IMMEDIATELY.
- REPAIR UNDERCUT AND ERODED AREAS AT INFLOW AND OUTFLOW STRUCTURES.
- SCRAPE BOTTOM AND REMOVE SEDIMENT. RESTORE ORIGINAL CROSS-SECTION AND INFILTRATION RATE EVERY FIVE YEARS

C. CATCH BASIN INLETS

- THE CATCH BASINS SHALL BE INSPECTED MONTHLY TO ASSURE THEY ARE FUNCTIONING PROPERLY, AND CLEANED BY REMOVING SEDIMENT AND DEBRIS FOUR TIMES PER YEAR. CLEANING SHALL BE PERFORMED BY USE OF A VACUUM TRUCK OR OTHER METHOD AS RECOMMENDED BY THE CATCH BASIN MANUFACTURER.
- ALL SEDIMENT AND HYDROCARBONS (PETROLEUM PRODUCTS) SHALL BE PROPERLY HANDLED AND DISPOSED IN ACCORDANCE WITH APPLICABLE GUIDELINES.
- ALL DRAINAGE SYSTEM OUTLETS SHALL ALSO BE INSPECTED FOR DEBRIS AND MAINTAINED ACCORDINGLY. INSPECTION AND MAINTENANCE SHALL OCCUR IN MAY AND DECEMBER OF EACH YEAR.
- ALL INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED INDIVIDUALS. RECORDS OF THE INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR A PERIOD OF FIVE (5) YEARS AND SHALL BE MADE AVAILABLE UPON REQUEST.

D. PERMEABLE GRASS PAVERS

- THE PAVERS SHALL BE INSPECTED MONTHLY TO ASSURE THEY ARE FUNCTIONING PROPERLY, AND CLEANED BY REMOVING SEDIMENT AND DEBRIS FOUR TIMES PER YEAR. CLEANING SHALL BE PERFORMED AS RECOMMENDED BY THE MANUFACTURER.
- ALL SEDIMENT AND HYDROCARBONS (PETROLEUM PRODUCTS) SHALL BE PROPERLY HANDLED AND DISPOSED IN ACCORDANCE WITH APPLICABLE GUIDELINES.
- ALL INSPECTIONS AND MAINTENANCE SHALL BE PERFORMED BY QUALIFIED INDIVIDUALS. RECORDS OF THE INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR A PERIOD OF FIVE (5) YEARS AND SHALL BE MADE AVAILABLE UPON REQUEST.

THE OWNER SHALL KEEP A WRITTEN RECORD OF INSPECTION DATES AND FINDINGS, MAINTENANCE OPERATIONS, AND ALL REPAIRS. AN INSPECTION/MAINTENANCE CHECKLIST SHALL BE USED IN THE SPECIFIED INSPECTIONS. RECORDS OF INSPECTIONS AND MAINTENANCE SHALL BE KEPT FOR AT LEAST THREE YEARS, AND AVAILABLE ON REASONABLE NOTICE FOR INSPECTION BY THE APPROPRIATE TOWN AGENCY.

EROSION & SEDIMENT CONTROL NOTES:

- EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO THE START OF CONSTRUCTION. GRAVEL CONSTRUCTION ENTRANCE WILL BE INSTALLED BEFORE CONSTRUCTION TRAFFIC INTO AND OUT OF PROJECT AREA BEGINS. STABILIZATION OF ALL REGRADED AND SOIL STOCKPILE AREAS WILL BE INITIATED AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF SOUTH KINGSTOWN REGULATIONS. ALL EROSION CONTROL MEASURES ARE TO BE MAINTAINED AND UPGRADED AS REQUIRED TO ACHIEVE PROPER SEDIMENT CONTROL DURING CONSTRUCTION.
- ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING CONSTRUCTION PERIOD, IF DEEMED NECESSARY BY THE ENGINEER OR TOWN AGENCIES.
- THE LOT SHALL BE REQUIRED TO MAINTAIN EROSION AND SEDIMENT CONTROLS DURING CONSTRUCTION. ADDITIONAL MEASURES WILL BE REQUIRED TO PREVENT SEDIMENT DISCHARGE INTO THE STREET, AND DRAINAGE SYSTEMS.
- SEEDING MIXTURE FOR FINISHED GRASSED AREAS WILL BE AS FOLLOWS:
 KENTUCKY BLUE GRASS = 45
 CREEPING RED FESCUE = 45
 PERENNIAL RYE GRASS = 10
 SEED TO APPLIED AT A RATE THAT IS 4 LBS / 1000 S.F.
 FERTILIZER SHALL BE APPLIED AT A RATE OF 2 LBS / 1000 S.F.
 PLANTING SEASON SHALL BE APRIL 1 TO OCTOBER 15. AFTER OCTOBER 15 AREAS NOT SEEDDED SHALL BE STABILIZED WITH STRAW WATTLES, HAY BALE CHECK DAMS, FILTER FABRIC OR WOODEN MULCH AS REQUIRED TO CONTROL EROSION.
- AREAS LEFT BARE BEFORE FINISH GRADING AND SEEDING IS ACHIEVED, SHALL RECEIVE A TEMPORARY SEEDING OF PERENNIAL RYE GRASS APPLIED TO A RATE OF 2 LBS / 1000 S.F. AT A DEPTH OF 1/2". LIMESTONE (EQUIVALENT TO BE 50 % CALCIUM PLUS MAGNESIUM OXIDE) SHALL BE APPLIED AS SEEDBED PREPARATION AT A RATE EQUAL TO 90 LBS / 1000 S.F., WHERE GRASS PREDOMINATES. FERTILIZE ACCORDING TO A SOIL TEST AT A MINIMUM APPLICATION RATE OF 1 LB OF NITROGEN PER 1000 S.F. AREAS TO BE LEFT BARE BEFORE FINISH GRADING AND SEEDING OUTSIDE OF PLANTING SEASONS SHALL RECEIVE AN AIR-DRIED WOOD CHIP MULCH, FREE OF COURSE MATTER, TREATED WITH 12 LBS NITROGEN PER TON, APPLIED AT A RATE OF 185-275 LBS / 1000 S.F.
- CONTRACTOR SHALL BE ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES THE INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, AND NOTIFY THE PROPER TOWN AGENCY OF ANY TRANSFER OF THIS RESPONSIBILITY. THE OWNER SHALL BE RESPONSIBLE FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT CONTROL PLAN IF THE TITLE TO THE LAND IS TRANSFERRED.
- THE CONTRACTOR SHALL REQUEST THE APPROPRIATE TOWNS AGENCIES TO INSPECT AND APPROVE THE INSTALLATION OF ALL EROSION CONTROL MEASURES PRIOR TO THE START OF CONSTRUCTION. PERIODIC INSPECTIONS OF EROSION CONTROL MEASURES MAY BE PERFORMED BY THE AGENCIES. THE CONTRACTOR SHALL REPAIR, UPGRADE OR REPAIR ANY MEASURES THE AGENT MAY FEEL ARE IN NEED OF SUCH.
- STOCKPILES OF SOIL SHALL BE SURROUNDED BY A SEDIMENT BARRIER. SOIL STOCKPILES TO BE LEFT BARE FOR MORE THAN FIFTEEN (15) DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION OR MULCH, IF STOCKPILES ARE TO REMAIN FOR MORE THAN SIXTY (60) DAYS, FILTER FABRIC SHALL BE USED IN PLACE OF HAY BALES. SIDE SLOPES SHALL NOT EXCEED 2:1.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO CONTROL DUST AND WIND EROSION THROUGHOUT THE LIFE OF HIS CONTRACT. DUST CONTROL SHALL INCLUDE BUT NOT LIMITED TO SPRINKLING WATER ON EXPOSED SOILS AND HAUL ROADS. CONTRACTOR SHALL CONTROL DUST TO PREVENT A HAZARD TO TRAFFIC ON ADJACENT ROADWAYS.
- SEDIMENT SHALL BE REMOVED ONCE THE VOLUME REACHES 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR HAY BALE, OR SILT SOCK.
- ALL STOCKPILES SHALL BE SURROUNDED BY SEDIMENT CONTROLS.
- DISTURBED AREAS REMAINING IDLE FOR MORE THAN 14 DAYS SHALL BE STABILIZED.
- ALL FACILITIES USED AS TEMPORARY MEASURES SHALL BE CLEANED PRIOR TO BEING PUT INTO FINAL OPERATION.
- PER THE RISWM, BMP'S ARE NOT TO BE USED FOR TEMPORARY STORMWATER RUNOFF COLLECTION DURING THE PROJECTS CONSTRUCTION.

CONSTRUCTION PROCEDURES AND SEQUENCING

- THE OWNER SHALL HAVE THE SOLE RESPONSIBILITY FOR THE DESIGN IMPLEMENTATION. HE SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONTRACTORS AND SUBCONTRACTORS ARE AWARE OF THE PROVISIONS ON THE PLANS.
- THE CONTRACTOR SHALL ORGANIZE SITE CONSTRUCTION IN A MANNER WHICH WILL ENSURE THE IMMEDIATE STABILIZATION OF SURFACES. PERIMETER CONTROLS EQUAL APPROVED PROJECT LIMITS.
- PRIOR TO ANY CONSTRUCTION ON SITE, THE CONTRACTOR SHALL SETUP PRE-CONSTRUCTION MEETING WITH OWNER, ENGINEER, TOWN PLANNING AND DPW PERSONAL.
- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, A LINE STRAW WATTLES, WILL BE PLACED AT ALL CONSTRUCTION TOE OF SLOPES IN THE AREA OF ROADWAY, PONDS, LANDSCAPED AREAS, AND ALONG PERIMETER OF PROJECT LIMIT OF DISTURBANCE WHERE INDICATED ON PROJECT PLANS.
- RESERVE EROSION CONTROL DEVICES SHALL BE STOCKPILED ON SITE IN THE EVENT OF EMERGENCIES, AND SHALL BE LOCATED 100' FROM REGULATED WETLAND RESOURCE AREAS.
- THE CONTRACTOR SHALL MAKE ALL NECESSARY PROVISIONS FOR THE PROPER STORAGE AND/OR REMOVAL OF DEBRIS ON SITE TO AVOID UNNECESSARY ACCUMULATION ON SITE.
- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED FROM DOWNSTREAM UP AND CONSTRUCTION SHALL INCLUDE THE PLACEMENT OF STONE AT THE FLARED PIPE ENDS AND OUTLET STRUCTURE

INLETS AND OUTLETS AS SHOWN ON PROJECT PLANS.

- IN STREAM CONTROLS SUCH AS HAY BALE CHECK DAMS SHALL BE ESTABLISHED PRIOR TO CONSTRUCTION IF NEEDED.

INFILTRATION SURFACE PROTECTION
 TO PROTECT THE INFILTRATION SURFACES (BENEATH AND ADJACENT TO THE RECHARGE SYSTEMS) FROM DEGRADATION BY CONSTRUCTION ACTIVITIES INCLUDE:

- PROVIDE DEEP ROTOTILLING OF VAIN FLOOR IMMEDIATELY PRIOR TO SEEDING WITH NO SUBSEQUENT TRAFFICKING ON SURFACE.
- PREVENTION OF CONTAMINATION OF THE EXPOSED SUBGRADE BY CONSTRUCTION VEHICLES.
- PREVENTION OF EXCESSIVE COMPACTION BY CONSTRUCTION VEHICLES.
- PREVENTION OF THE DISCHARGE OF WATER FROM CONSTRUCTION DEWATERING ACTIVITIES INTO THESE FACILITIES.
- PREVENTION OF DISCHARGE OF STORMWATER INTO THESE FACILITIES UNTIL THE CONTRIBUTING AREAS ARE STABILIZED, UNLESS SPECIFIC MEASURES ARE PROVIDED FOR PROTECTING AND RESTORING THE INFILTRATION SURFACE.

CONSTRUCTION INSPECTION
 THE ENGINEER SHALL BE CALLED ON SITE DURING THE CONSTRUCTION OF THE INFILTRATION BASIN. THE ENGINEER SHALL BE ON SITE DURING THE CONSTRUCTION AND LAYOUT OF ALL OUTLET STRUCTURES.

THE ENGINEER SHALL PERFORM FREQUENT INSPECTION OF THE STORMWATER SYSTEM DURING CONSTRUCTION, WITH CLEANING AND MAINTENANCE AS WARRANTED. DURING ACTIVE CONSTRUCTION PERIODS, WEEKLY INSPECTION IS REQUIRED.

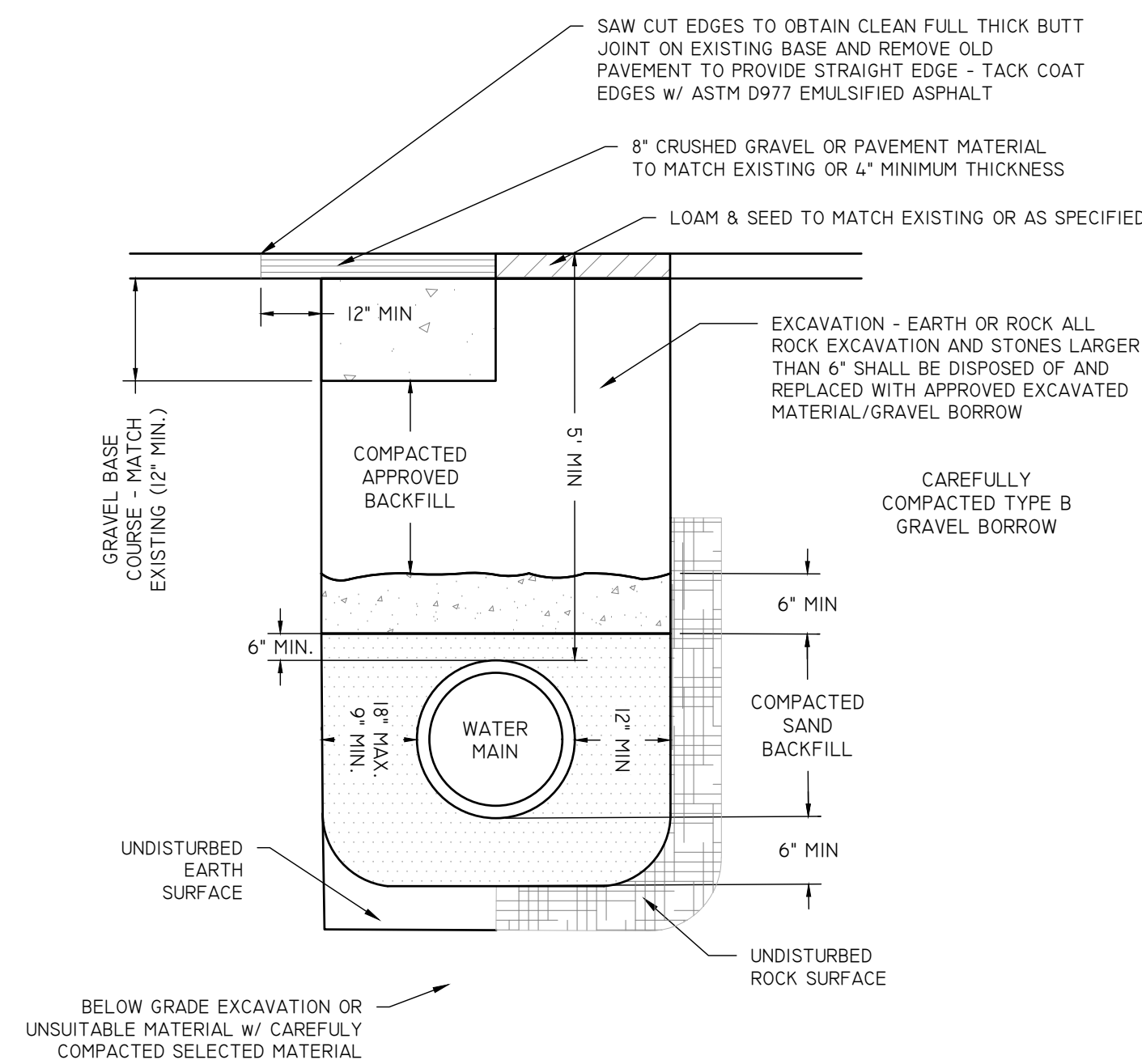
IF CONSTRUCTION IS SUSPENDED (E.G., OVER THE WINTER), THEN MONTHLY INSPECTIONS ARE REQUIRED. IN ADDITION, THE SYSTEM SHOULD BE CHECKED AFTER ANY SIGNIFICANT RAINFALL, TO INSURE IT IS FUNCTIONING CORRECTLY AND TO MONITOR SEDIMENT ACCUMULATION FROM THE DISTURBED AREAS OF THE SITE.

ROUGH GRADING
 DURING GRADING, THE POTENTIAL FOR EROSION IS HIGH. DURING GRADING OPERATIONS, DISTURBED SLOPES WILL BE MULCHED AND VEGETATION ESTABLISHED TO PREVENT SEDIMENT EROSION TO THE SATISFACTION OF THE ENGINEER.

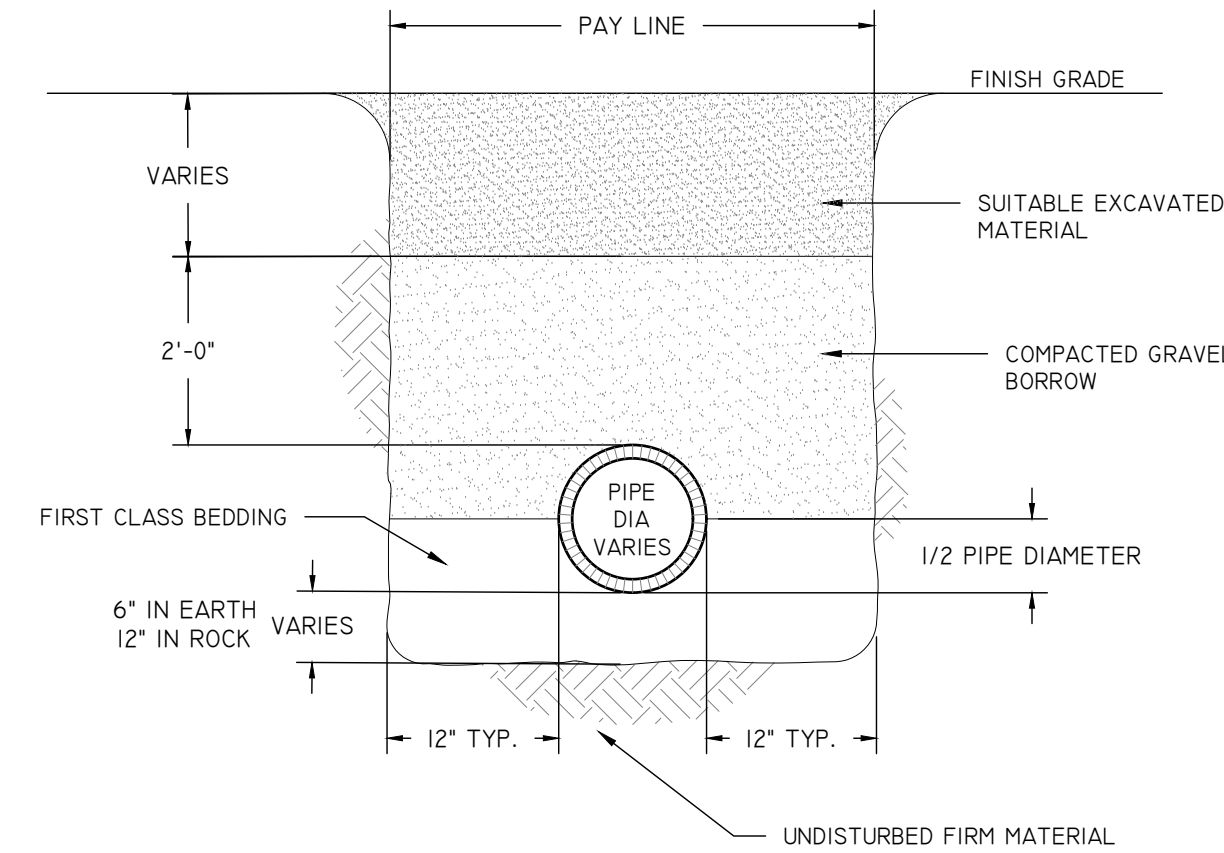
NOT FOR CONSTRUCTION

EROSION & SEDIMENT CONTROL PLAN			
PAUL D. CARLSON No. 7142 REGISTERED PROFESSIONAL ENGINEER CIVIL  PROFESSIONAL SEAL		"GREENHOUSE DISPENSARY" 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789 ASSESSORS PLAT 57-2 LOT 76 APPLICANT: GREENHOUSE DISPENSARY INC. 225 MAIN STREET, WAKEFIELD, RI 02879	
Job # 25-045	SCALE: 1" = 30'	DRAWN BY: LJG	DATE: SEPTEMBER 25, 2025
REVISED:			
 INSITE Engineering Services, LLC PROFESSIONAL ENGINEERS LAND SURVEYORS Precision. Clarity. Certainty.		InSite Professional Complex, Suite 1 1539 Fall River Avenue Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InSiteEngineers.com	
			SHEET 7 OF 10

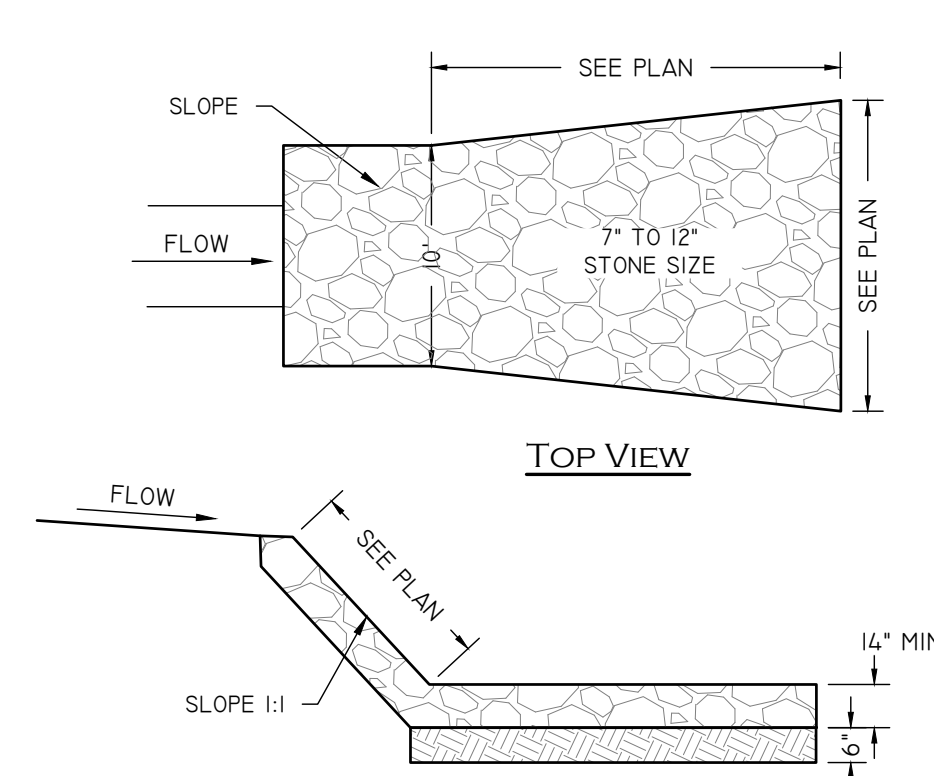
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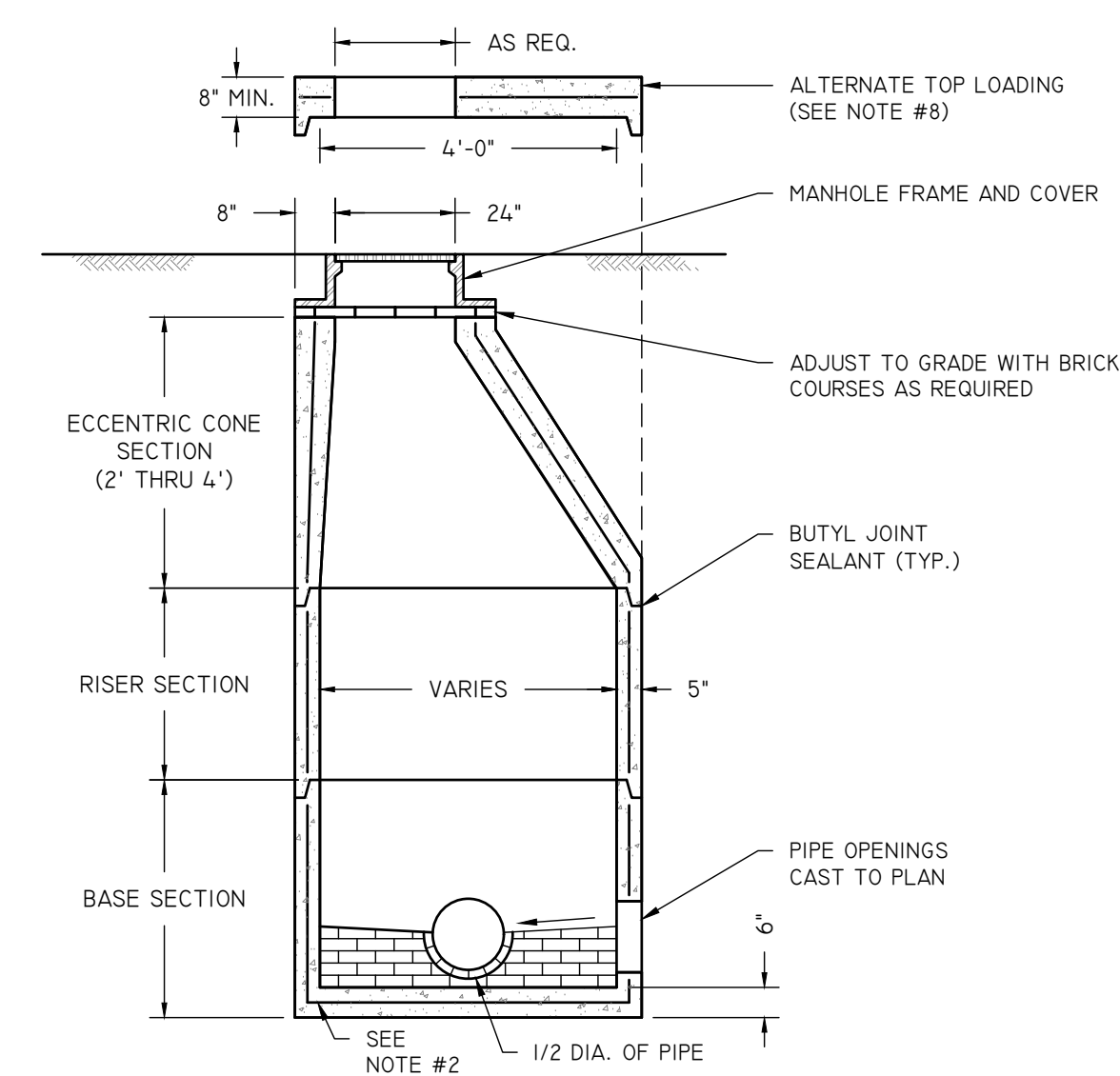
TYPICAL WATER MAIN / GAS MAIN TRENCH DETAIL
NOT TO SCALE



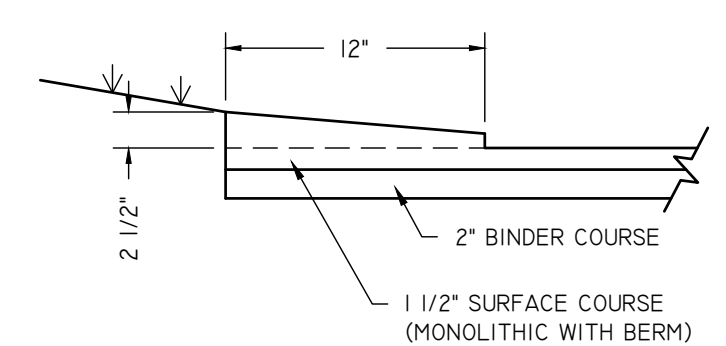
SANITARY SEWER TRENCH DETAIL
NOT TO SCALE



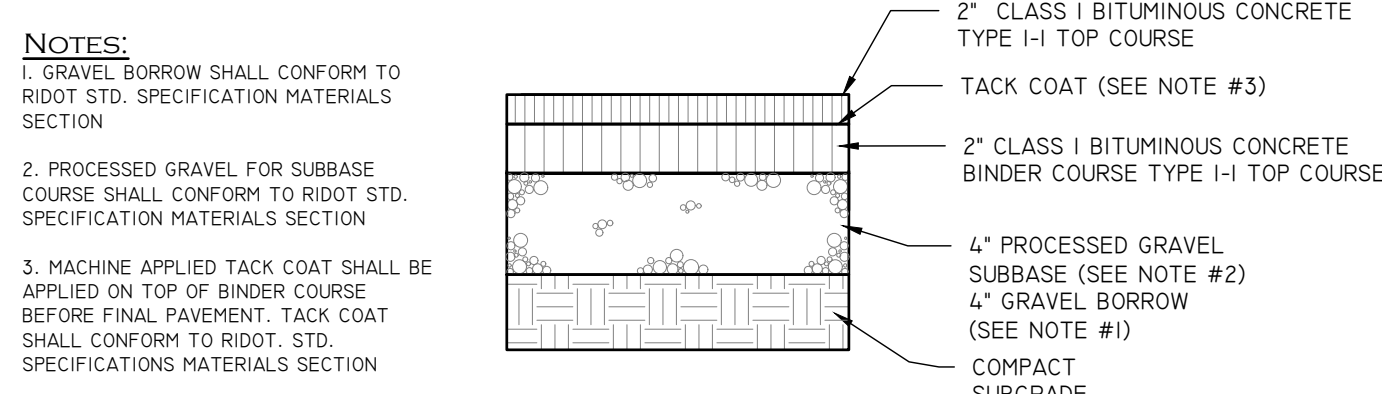
RIP RAP DETAIL
NOT TO SCALE



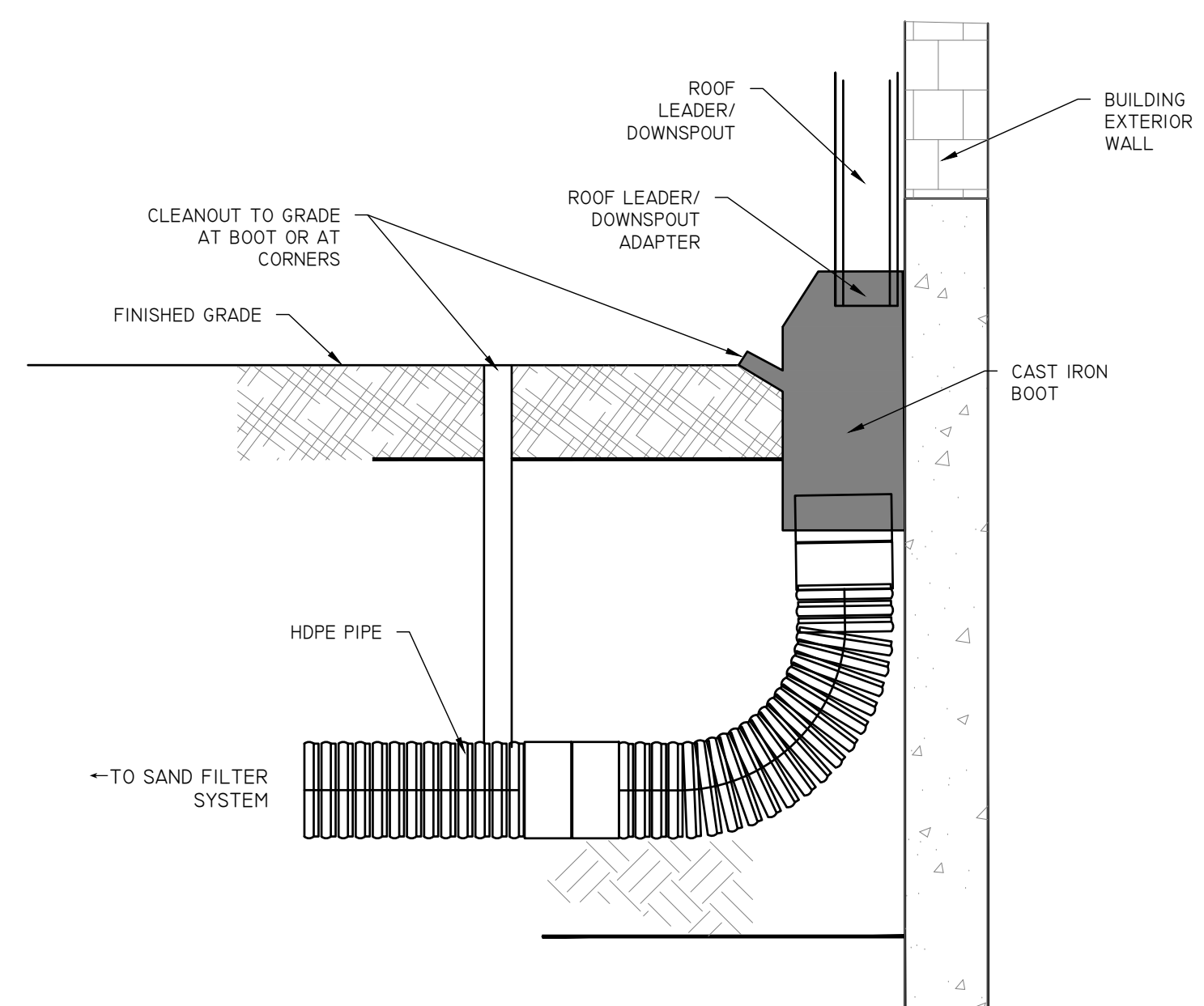
PRECAST CONCRETE MANHOLE - 4', 5', 6' DIAMETER
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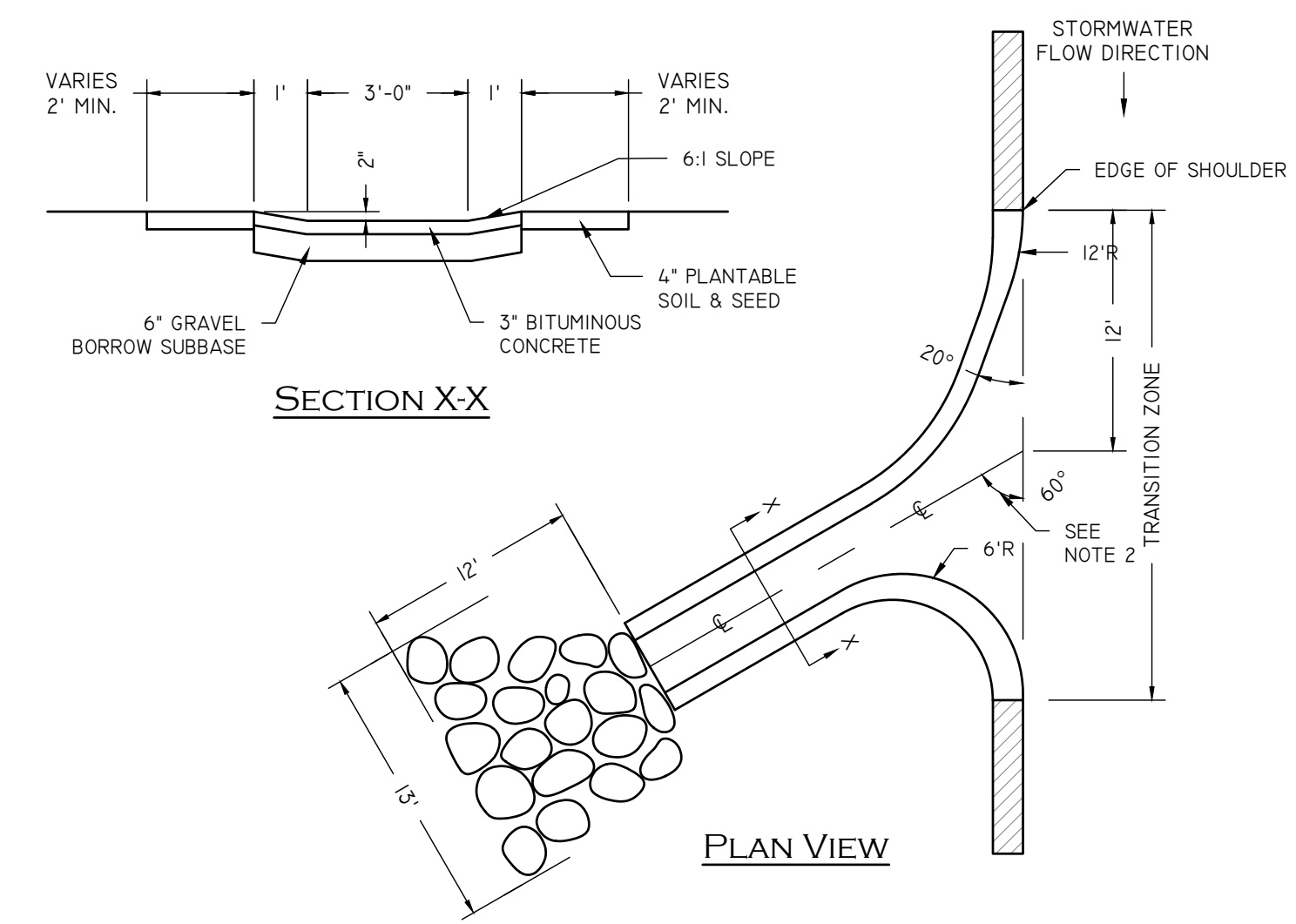
CAPE COD BERM DETAIL
NOT TO SCALE



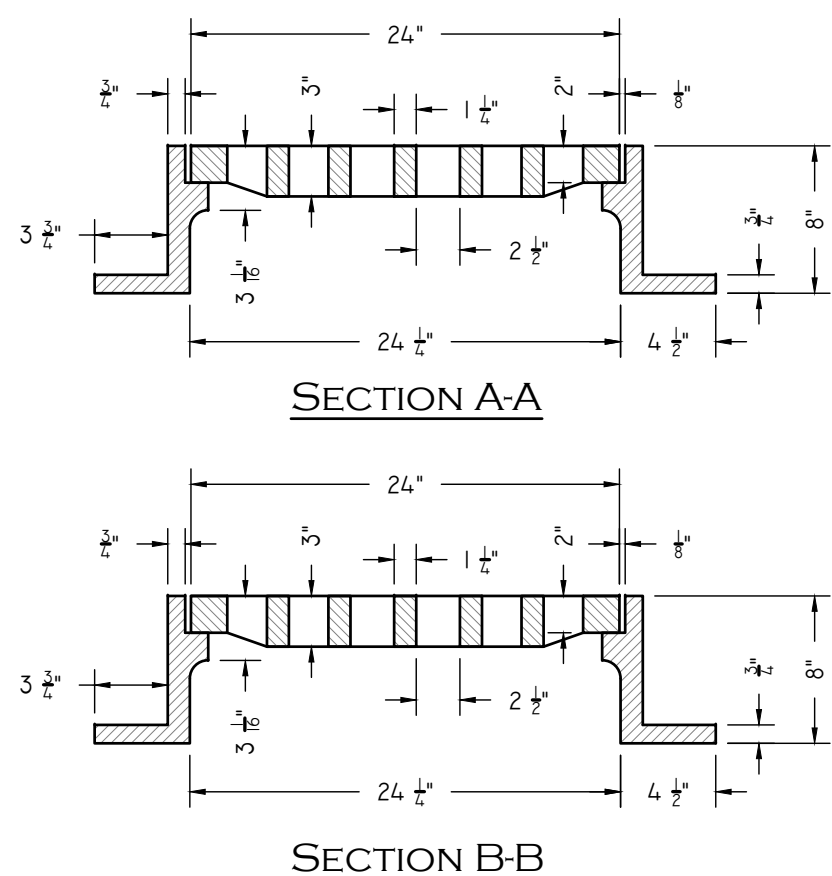
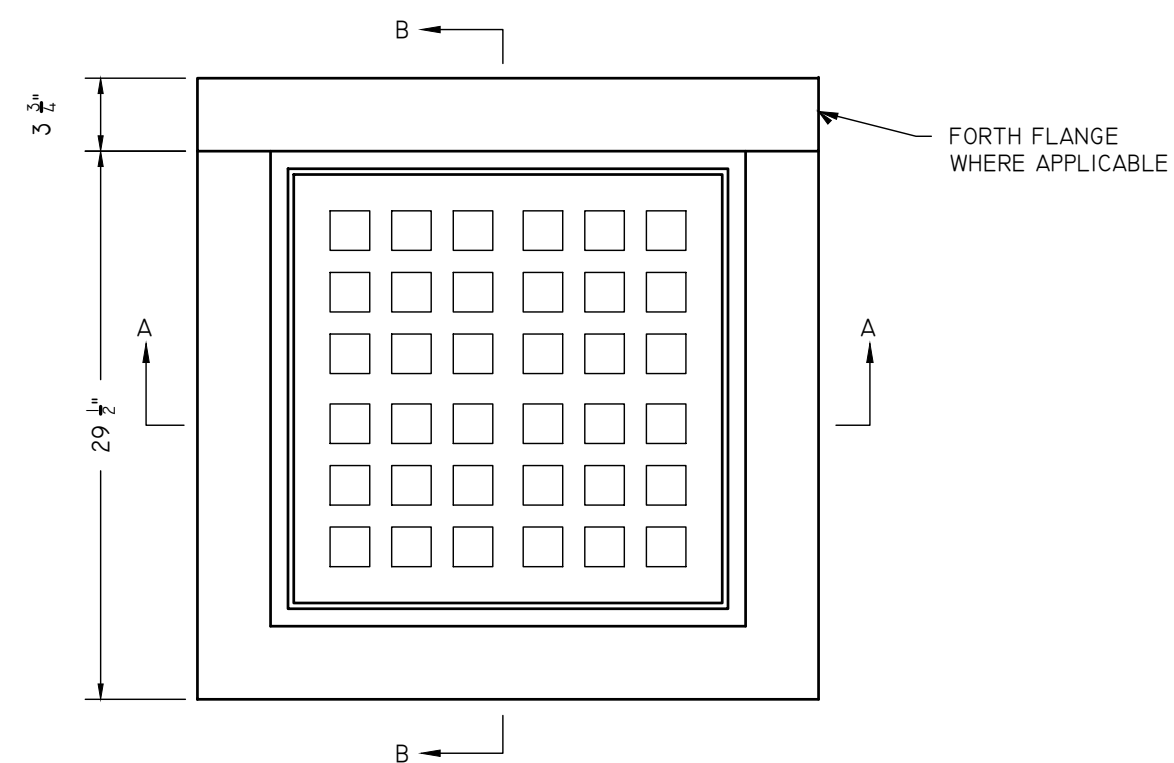
BITUMINOUS CONCRETE PAVEMENT DETAIL
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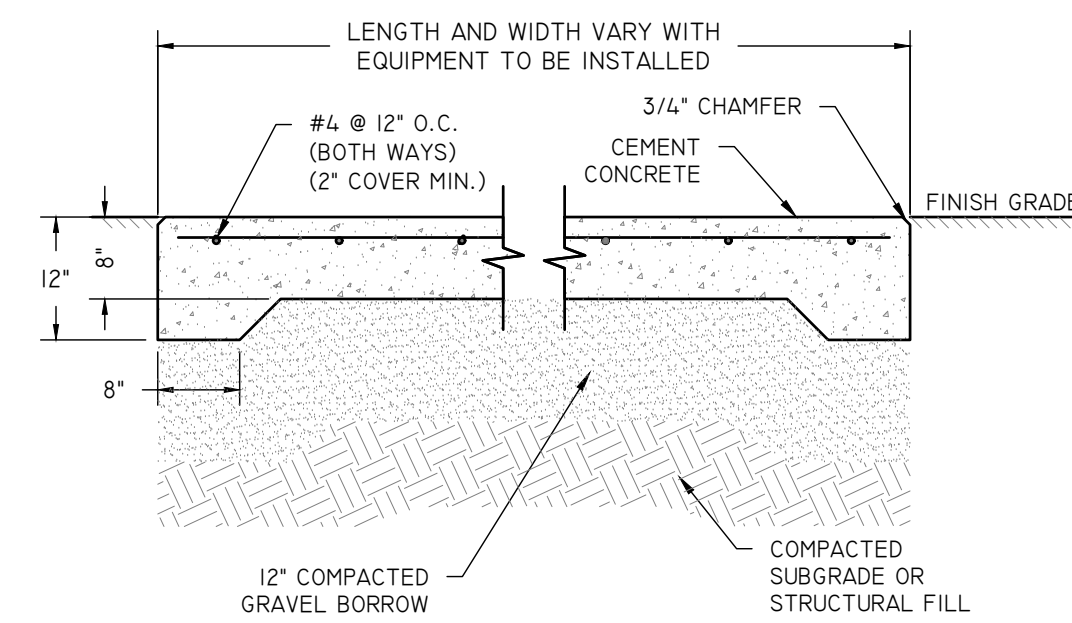
ROOF LEADER DRAINAGE DETAIL
NOT TO SCALE



PAVED WATERWAY INSTALLATION DETAIL
NOT TO SCALE



SQUARE CATCH BASIN FRAME & GRATE
NOT TO SCALE



CEMENT CONCRETE PAD
NOT TO SCALE

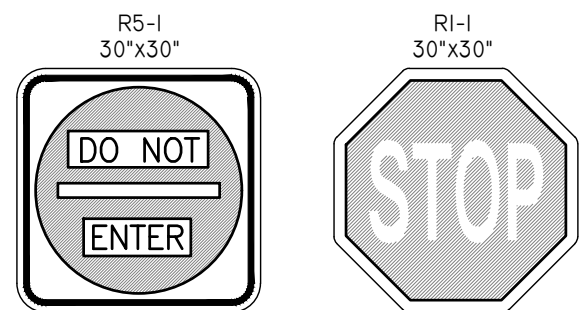
NOT FOR CONSTRUCTION

DETAIL SHEET (1 OF 3)

	"GREENHOUSE DISPENSARY" 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789 ASSESSORS PLAT 57-2 LOT 76		
	APPLICANT: GREENHOUSE DISPENSARY INC. 225 MAIN STREET, WAKEFIELD, RI 02879		
Job # 25-045	SCALE: 1" = 20'	DRAWN BY: LJG	DATE: SEPTEMBER 25, 2025
REVISED:			

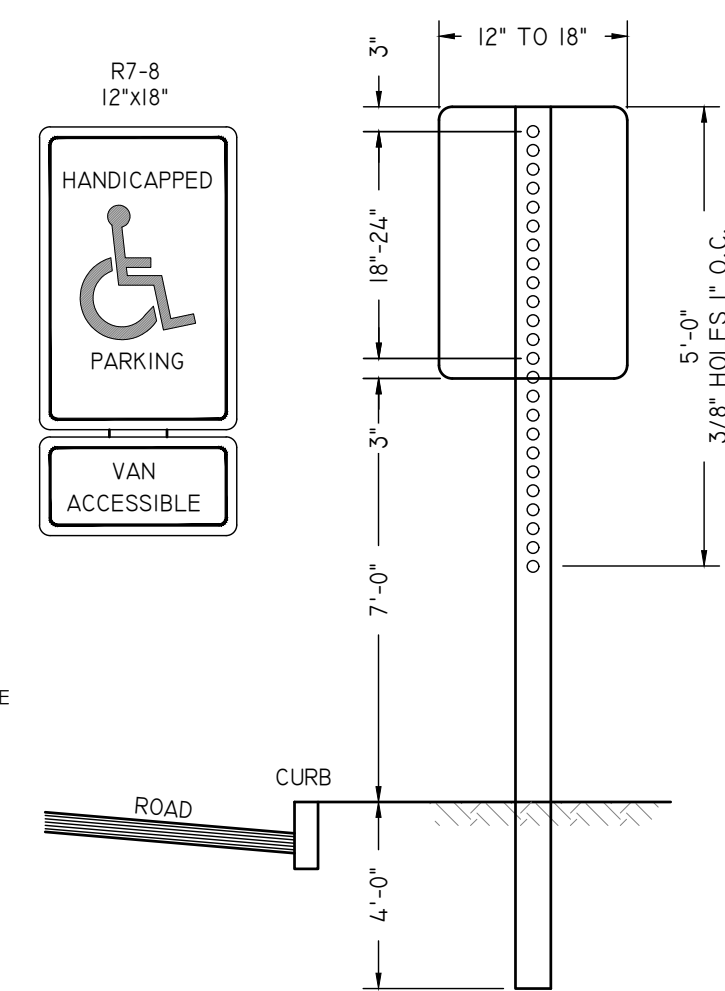
	InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InsiteEngineers.com	SHEET 8 OF 10
	PROFESSIONAL ENGINEERS LAND SURVEYORS Precision. Clarity. Certainty.	

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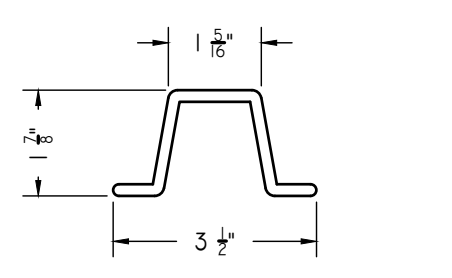
SIGN MOUNTING NOTES:
 1. ALL LAG SCREWS, BOLTS AND WASHERS SHALL BE GALVANIZED 5/16"x2 1/2" LONG UNLESS OTHERWISE NOTED.
 2. WASHERS SHALL BE 0.07" THICK.
 3. ALL SIGN COLORS, RADII AND BORDERS AS SPECIFIED IN MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES" OR AS SPECIFIED BY MHD.

HANDICAP SIGN NOTES:
 1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS OF THE ARCHITECTURAL BARRIERS BOARD.
 2. SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBSERVED BY A VEHICLE PARKED IN THE SPACE.
 3. FOR HANDICAPPED VAN SPACE USE SIGN AS DETAILED.
 4. FOR HANDICAPPED SPACE FOR AUTOMOBILES USE ONLY HANDICAPPED PARKING SIGN.

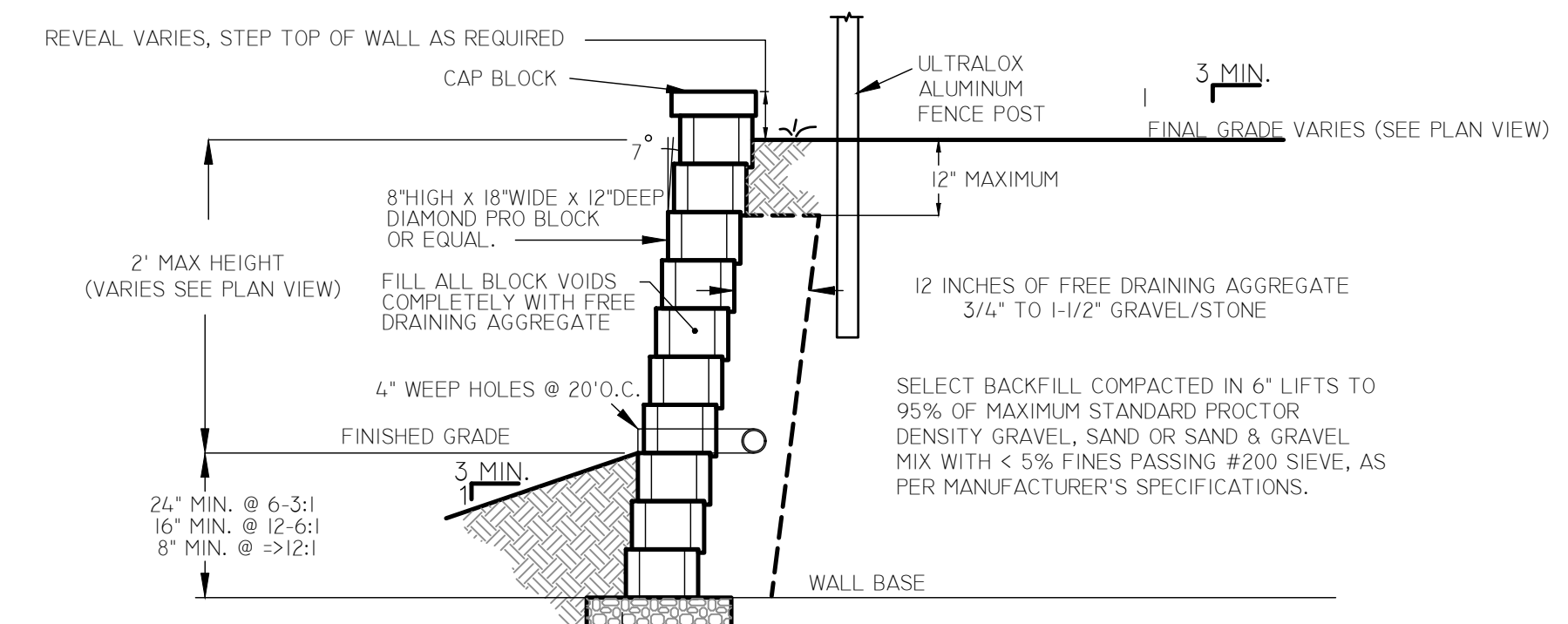


SIGN MOUNTING
NOT TO SCALE

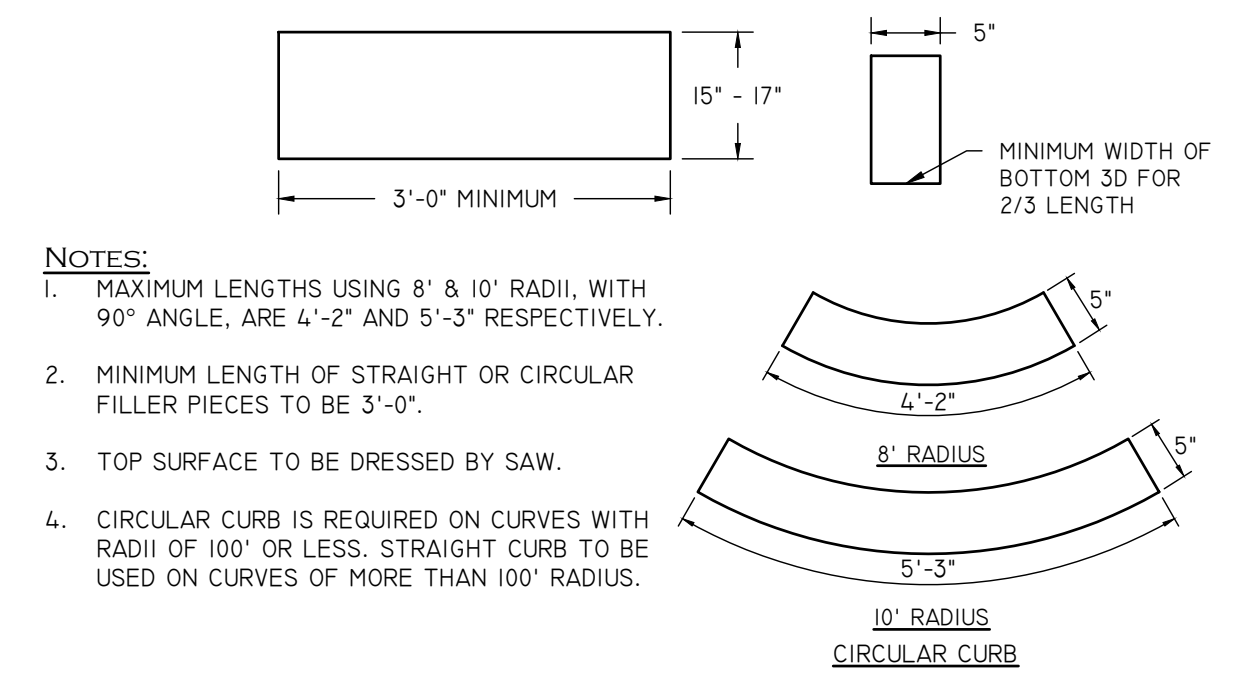
2-5/16" x 2-1/2" GALVANIZED BOLTS AND 0.070 WASHERS.
 STEEL SPECIFICATION - A.S.T.M. DESIGNATION A499-64 ZINC (HOT GALVANIZED) SPECIFIED BY A.S.T.M. A 123.
 WT./FT. 3.00#
 MOM. 1x-x 0.484 IN²
 SEC MOD x-x 0.569 IN²
 MON. 1y-y 0.886 IN²
 SEC MOD 1y-y 0.506 IN²



PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° A LINE PARALLEL TO THE FLOW OF TRAFFIC.

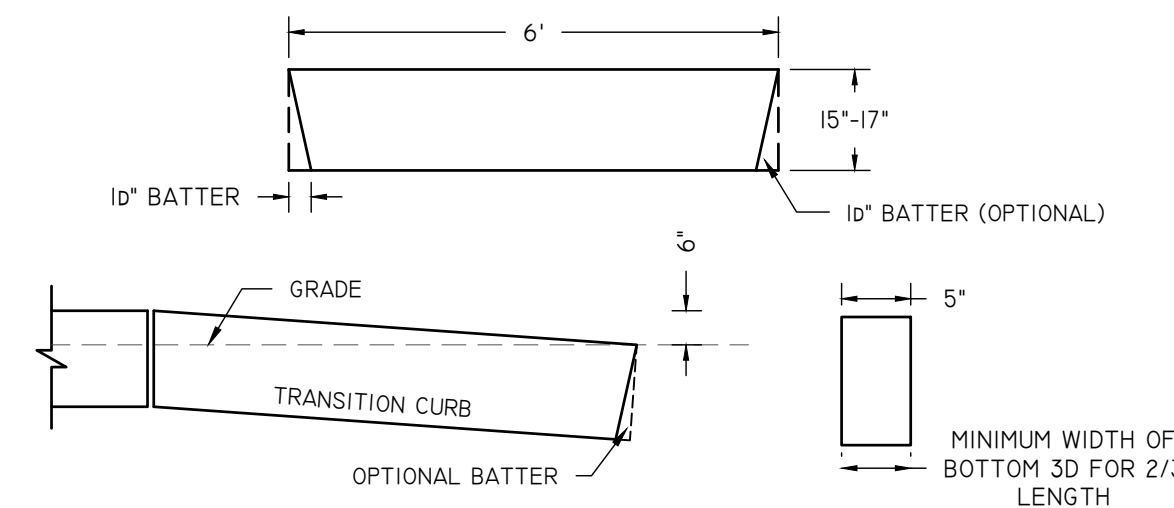


SEGMENTED BLOCK RETAINING WALL
(NOT TO SCALE)



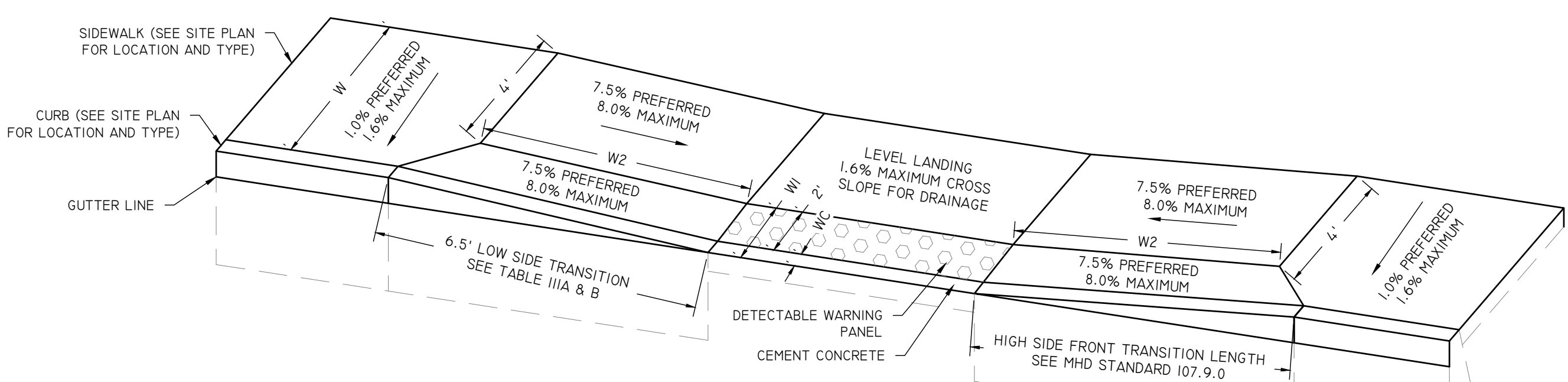
NOTES:
 1. MAXIMUM LENGTHS USING 8' & 10' RADII, WITH 90° ANGLE, ARE 4'-2" AND 5'-3" RESPECTIVELY.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0".
 3. TOP SURFACE TO BE DRESSED BY SAW.
 4. CIRCULAR CURB IS REQUIRED ON CURVES WITH RADII OF 100' OR LESS. STRAIGHT CURB TO BE USED ON CURVES OF MORE THAN 100' RADII.

PRECAST CONCRETE CURB
NOT TO SCALE



NOTES:
 1. TOP SURFACE TO BE DRESSED BY SAW OR TOOL.

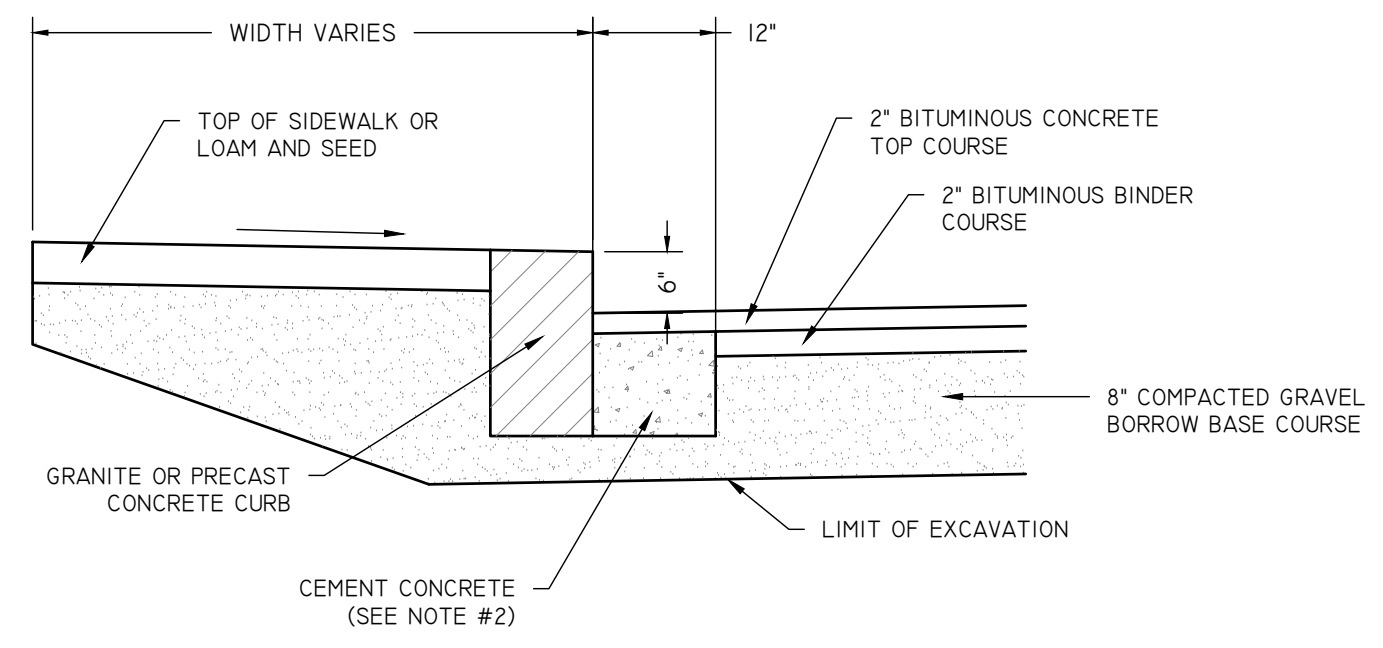
6' PRECAST TRANSITION CURB
NOT TO SCALE



NOTES:
 1. WHERE THE SIDEWALK WIDTH IS 7.5' OR GREATER FOR BITUMINOUS CONCRETE AND 8.0' OR GREATER FOR CEMENT CONCRETE AND BRICK, THE BACK TRANSITION LENGTHS (L_{BP}, L_{BL}) SHALL EQUAL ZERO (0). THEREFORE THE DIAGONAL SCORE LINE SHALL MEET THE BACK CORNERS OF THE WHEELCHAIR RAMP. IT SHOULD BE NOTED THAT THE RAMP SLOPE SHALL BE LESS THAN 11.0' FOR BITUMINOUS CONCRETE AND GREATER THAN 8.0' TO LESS THAN 11.0' FOR CEMENT CONCRETE AND BRICK.
 2. TRANSITION CURB SHALL BE PART OF THE HANDICAP RAMP WORK.

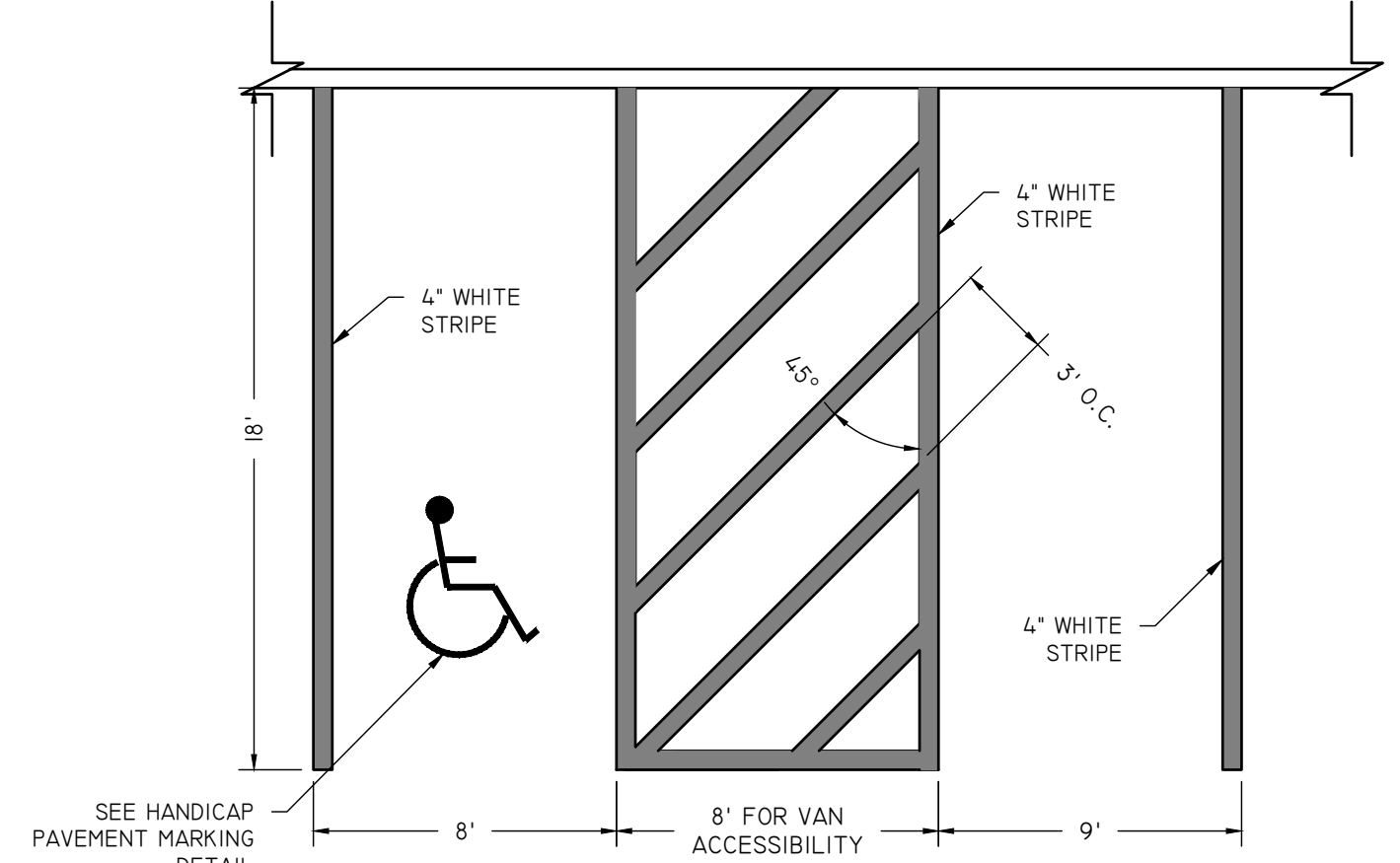
LEGEND:
 W = SIDEWALK WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 W2 = PARALLEL RAMP LENGTH
 WC = CURB WIDTH

WHEELCHAIR RAMP DETAIL
NOT TO SCALE



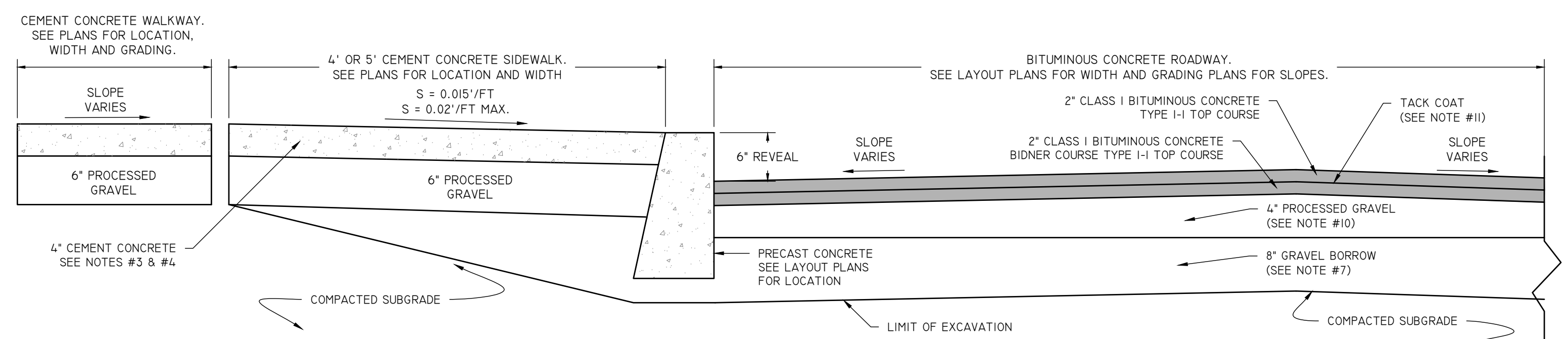
NOTES:
 1. SAW CUT 12" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE. REPLACE WITH CEMENT CONCRETE.
 2. CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE 1995 STANDARD SPECIFICATIONS; ALL TEST REQUIREMENTS ARE WAIVED, BITUMINOUS CONCRETE IS NOT TO BE USED AS A SUBSTITUTE.
 3. USE CEMENT CONCRETE ONLY WHEN BITUMINOUS BINDER COURSE HAS BEEN PLACED BEFORE EITHER TYPE OF VERTICAL CURB HAS BEEN INSTALLED.

METHOD OF SETTING VERTICAL CURB
NOT TO SCALE



NOTES:
 1. WHERE STALLS ABUT SIDEWALK, PARKING SIGNS SHOULD BE PLACED AT BACK EDGE OF SIDEWALK.

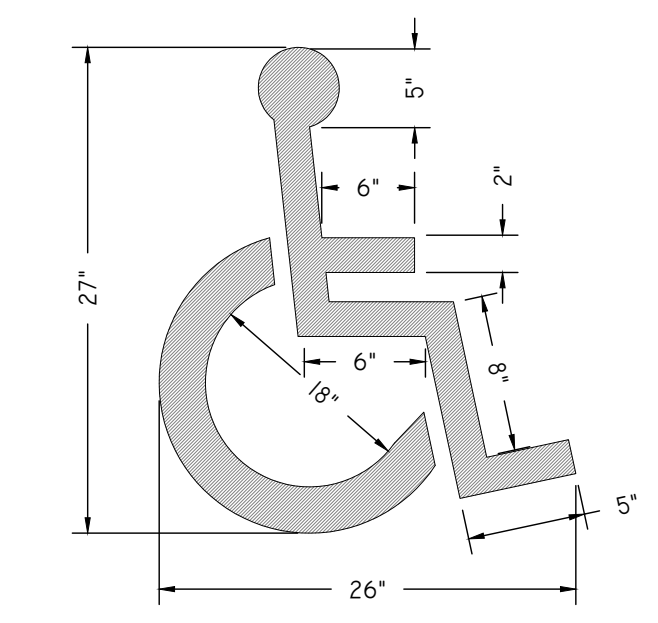
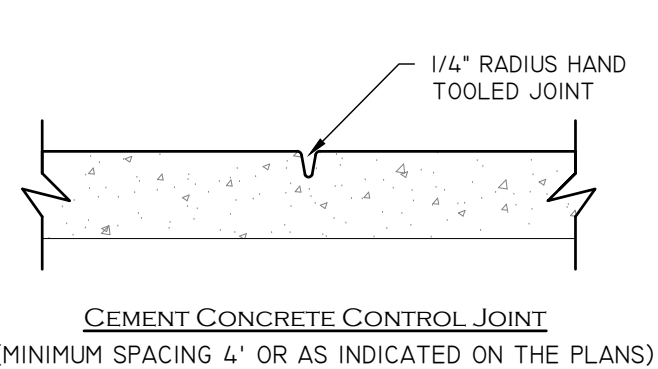
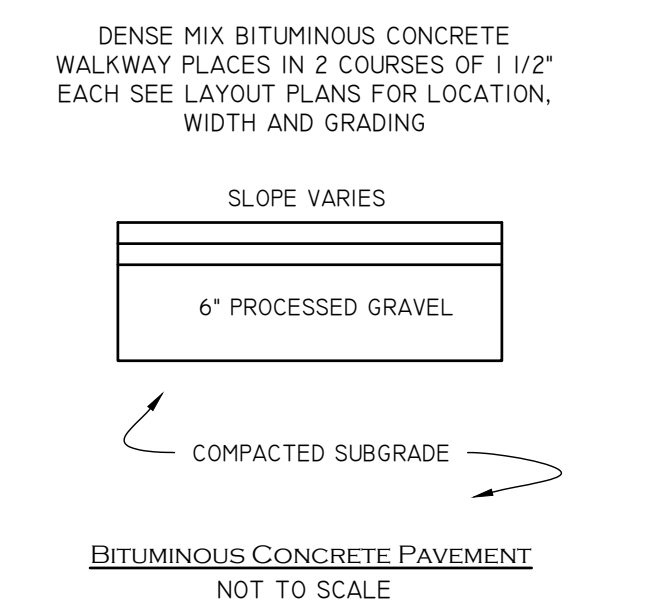
HANDICAP PARKING AND STANDARD STALLS
NOT TO SCALE



NOTES:
 1. CEMENT CONCRETE FOR SIDEWALK SHALL ATTAIN COMPRESSIVE STRENGTH OF 4000 PSI (28 DAYS) WITH AIR ENTRAINMENT OF 7%.
 2. CONSTRUCTION JOINTS WITH 1/4" PREMOLDED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 20 FEET.
 3. IF SIDEWALK IS TO ABUT A SMOOTH WALL, FOUNDATION OR STATIONARY OBJECT, PLACE THE EXPANSION JOINT FILLER FULL DEPTH, BETWEEN SIDEWALK CONCRETE AND SURFACE OF WALL, FOUNDATION OR STATIONARY OBJECT.
 4. IF SIDEWALK IS TO ABUT AN IRREGULAR WALL, FOUNDATION OR STATIONARY OBJECT, PLACE THE EXPANSION JOINT FILLER FULL DEPTH, FOUR (4) INCHES FROM IRREGULAR SURFACE, AND POUR CONCRETE BETWEEN THE ABOVE MENTIONED SURFACES AND THE EXPANSION JOINT MATERIAL.
 5. THE FORCING OF PREMOLDED EXPANSION JOINT FILLER INTO FRESHLY PLACED CONCRETE WILL NOT BE ALLOWED.

NOTES:
 6. THE MAXIMUM TOLERANCE FOR THE 4" CONCRETE THICKNESS IS +/-2".
 7. GRAVEL BORROW SHALL CONFORM TO STATE DOT STD. SPECIFICATION MATERIALS SECTION
 8. BITUMINOUS CONCRETE BERM SHALL BE MONOLITHIC PLACE WITH TOP COURSE OF BITUMINOUS PAVEMENT.
 9. USE 75' FOR TYPE A BITUMINOUS CONCRETE BERM WHEN USED WITH ADJACENT LOAM AREA FOR APPLICATION WITH SIDEWALK USE 90° ANGLE FOR BACK OF BERM.
 10. PROCESSED GRAVEL FOR SUBBASE COURSE SHALL CONFORM TO STATE DOT STD. SPECIFICATION MATERIALS SECTION
 11. MACHINE APPLIED TACK COAT SHALL BE APPLIED ON TOP OF BINDER COURSE BEFORE FINAL PAVEMENT. TACK COAT SHALL CONFORM TO STATE DOT. STD. SPECIFICATIONS MATERIALS SECTION

PAVEMENT, SIDEWALK AND WALKWAY DETAIL
NOT TO SCALE



NOTES:
 1. ALL HANDICAP PARKING AND SIGNALS SHALL BE IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE ARCHITECTURAL BARRIERS BOARD

HANDICAP PAVEMENT MARKING
NOT TO SCALE

NOT FOR CONSTRUCTION

DETAIL SHEET (2 OF 3)

"GREENHOUSE DISPENSARY"
 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
 ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
 225 MAIN STREET, WAKEFIELD, RI 02879

PAUL D. CARLSON
 No. 7142
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 PROFESSIONAL SEAL

JOB # 25-045
 SCALE: 1" = 20'
 DRAWN BY: L.J.G.
 DATE: SEPTEMBER 25, 2025

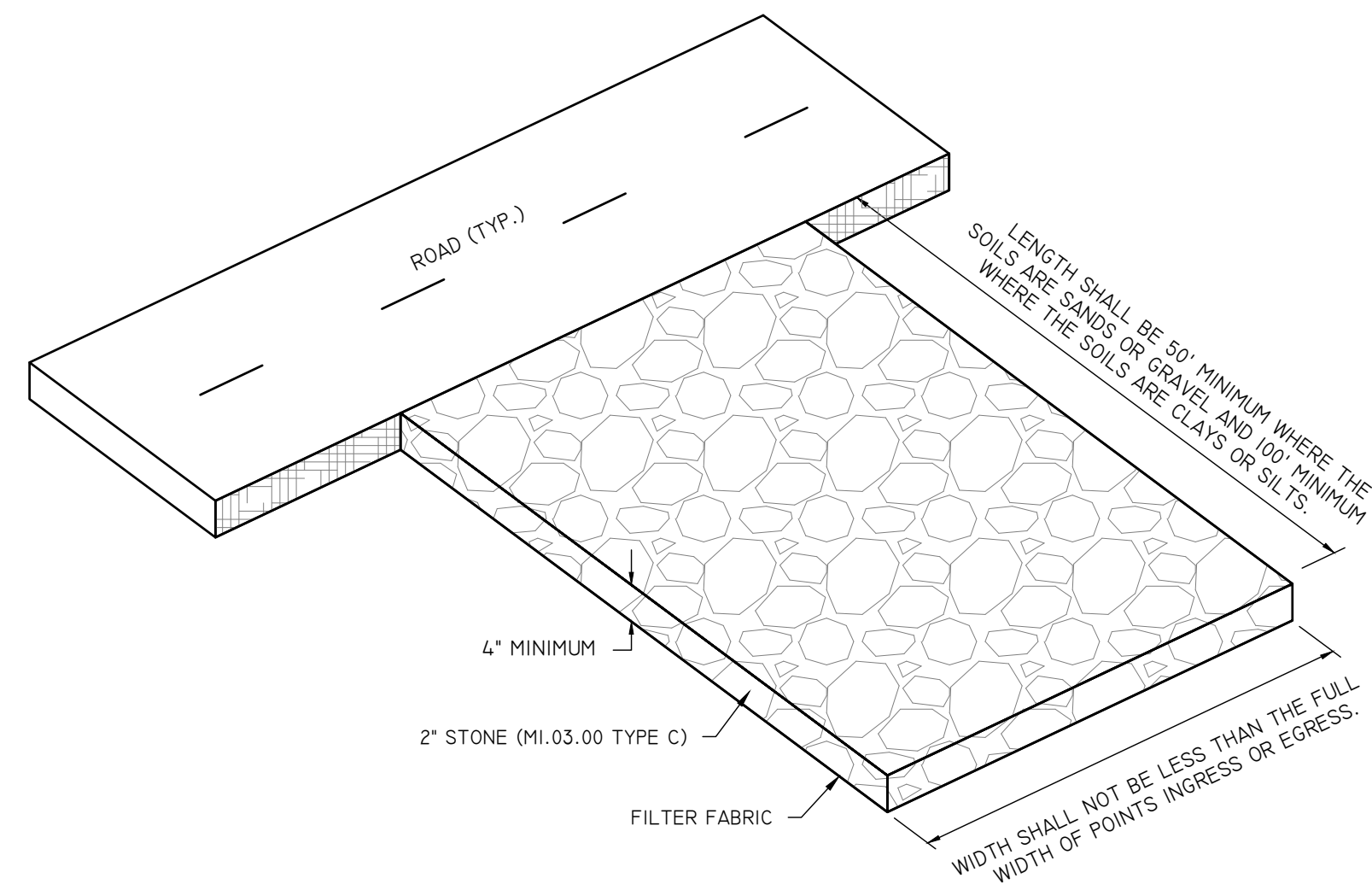
REVISED:

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

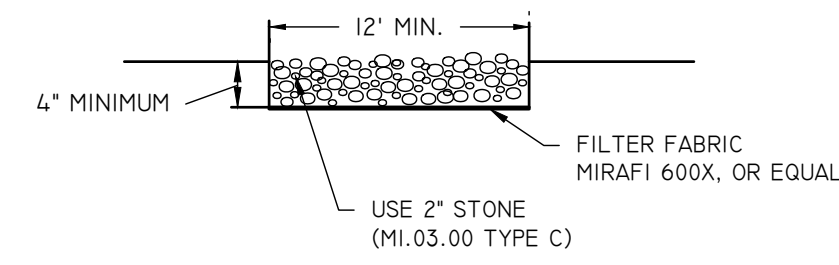
InSite Professional Complex, Suite 1
 1539 Fall River Avenue, Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

SHEET 9 OF 10

I:\25-045\711 Kingstown Road - South Kingstown - Termer\CADD\25-045 - ENGR Base - 002 - Sheet.dwg, 9/25/2025 2:29:04 PM



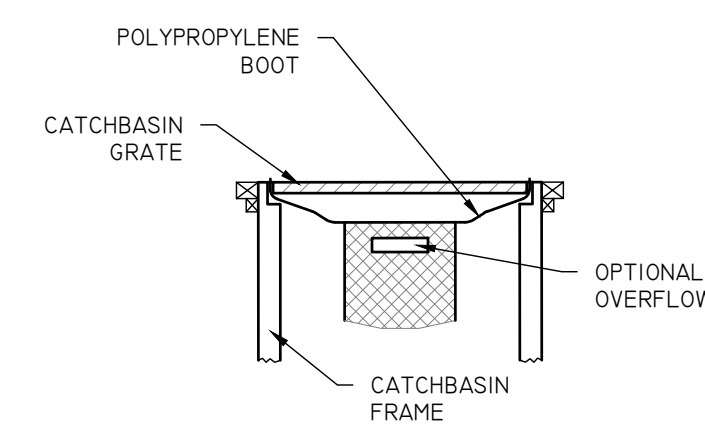
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



INSTALLATION:
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

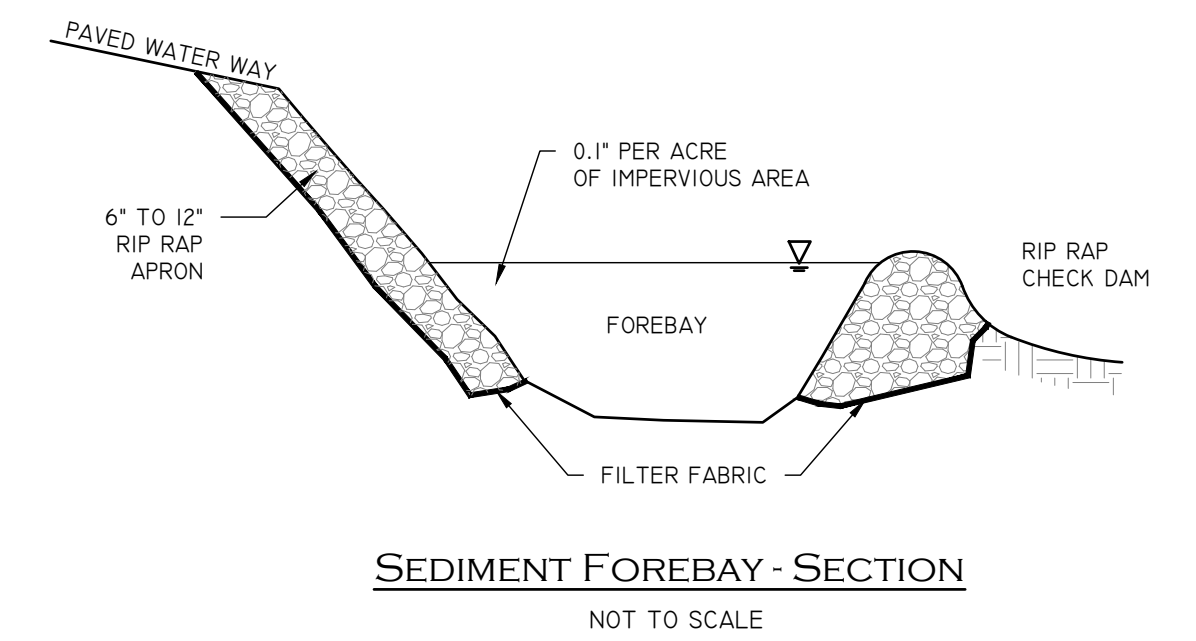
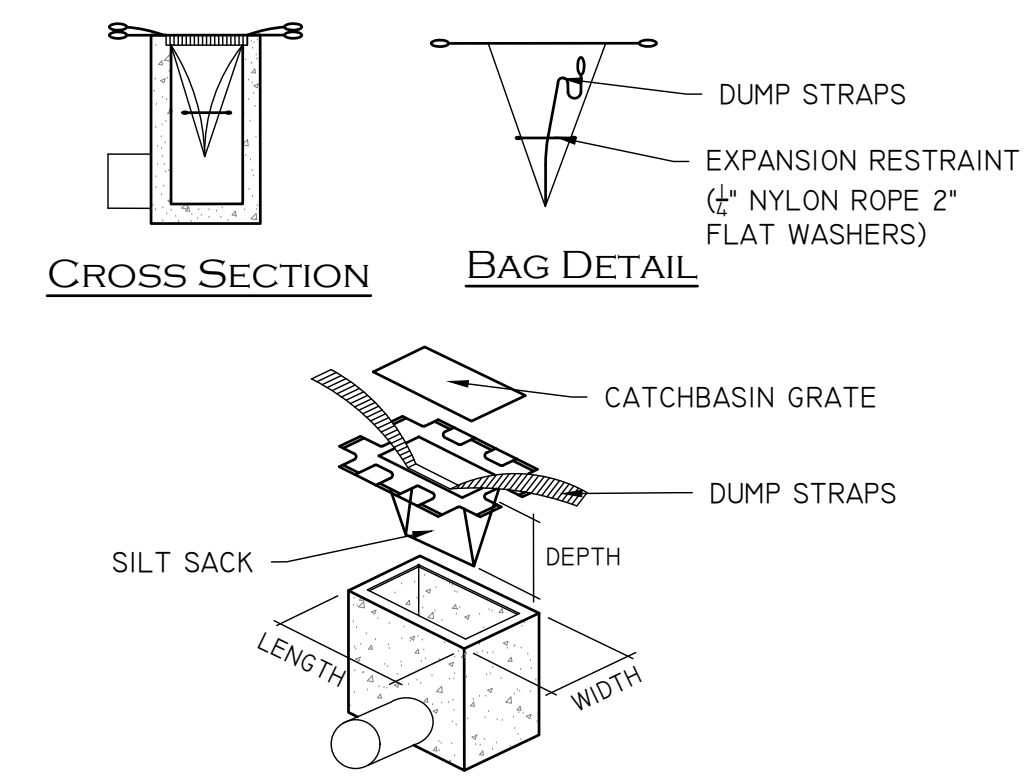
MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT-OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION:
SEE OVERALL SHEET FOR LOCATION OF CONSTRUCTION ENTRANCE.



- NOTES:**
- SILTSACKS SHALL BE INSTALLED IN ALL CATCH BASINS UNTIL DRAINAGE AREA HAS BEEN FULLY STABILIZED.
 - MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT SACKS SHALL BE CLEANED ONCE THE BAG IS FILLED HALF WAY WITH DEBRIS. CONTRACTOR SHALL REMOVE SILT SACK AND PLACE NEW UNIT. DO NOT EMPTY SILT SACK CONTENTS INTO THE CATCHBASIN.

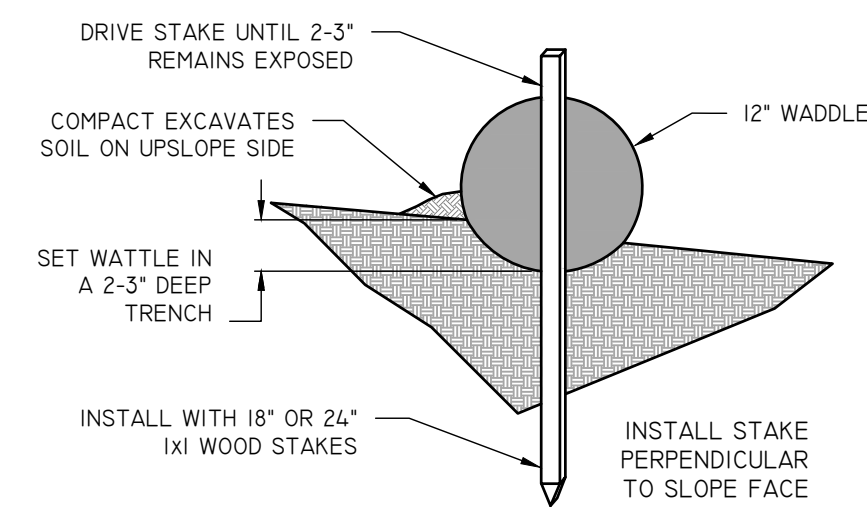
CATCH BASIN WITH SILT SACK INLET PROTECTION
NOT TO SCALE



SEDIMENT FOREBAY - SECTION
NOT TO SCALE

EROSION & SEDIMENTATION CONTROL:

- BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3" DEEP x 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP SLOPE FROM THE ANCHOR TRENCH.
- PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
- SECURE THE WATTLE WITH 18-24" STAKES EVERY 3-4' AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2-3" OF STAKE EXTENDING ABOVE THE STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
- CONTRACTOR IS RESPONSIBLE TO MAINTAIN INTEGRITY OF STRAW WATTLE FOR DURATION OF CONSTRUCTION.
- EROSION CONTROLS TO REMAIN UNTIL SOIL CONDITIONS STABILIZE.
- LOOSE HAY TO BE SPREAD ON AREAS OF EXPOSED LOAM & SEED UNTIL GERMINATION AND STABILIZATION OCCURS.



STRAW WATTLE (OR SILT SOCK) DETAIL
NOT TO SCALE

**NOT FOR
CONSTRUCTION**

DETAIL SHEET (3 OF 3)

	"GREENHOUSE DISPENSARY"		
	711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789 ASSESSORS PLAT 57-2 LOT 76		
	APPLICANT: GREENHOUSE DISPENSARY INC. 225 MAIN STREET, WAKEFIELD, RI 02879		
	Job # 25-045	SCALE: 1" = 20'	DRAWN BY: LJG
REVISED:		DATE: SEPTEMBER 25, 2025	

	InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InsiteEngineers.com	SHEET 10 OF 10