

**Long-Term Operation and
Maintenance Plan & Long Term Pollution
Prevention Plan
FOR
KEYSTONE, LLC.**

MINOR LAND DEVELOPMENT

LOCATED AT

82 Main Street
South Kingstown, Rhode Island

**SOUTH KINGSTOWN ASSESSOR'S
MAP 57-1, LOT 73**

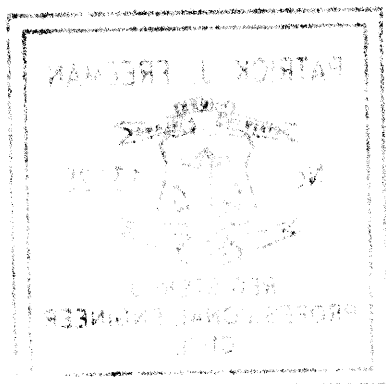
PREPARED FOR
**Keystone, LLC.
P.O. Box 669
Wakefield, RI 02850**

PREPARED BY
**American Engineering, Inc.
400 South County Trail, Suite A 201
Exeter, Rhode Island 02822**

September 25, 2025
Revised October 16, 2025



10/16/25



Stormwater Facility Operation and Maintenance

For:

KEYSTONE, LLC.

82 Main Street

South Kingston, RI

Owner: Keystone, LLC.
82 Main Street
South Kingstown, Rhode island

Operator: Company Name
Name
Address
City, State, Zip Code
Telephone Number

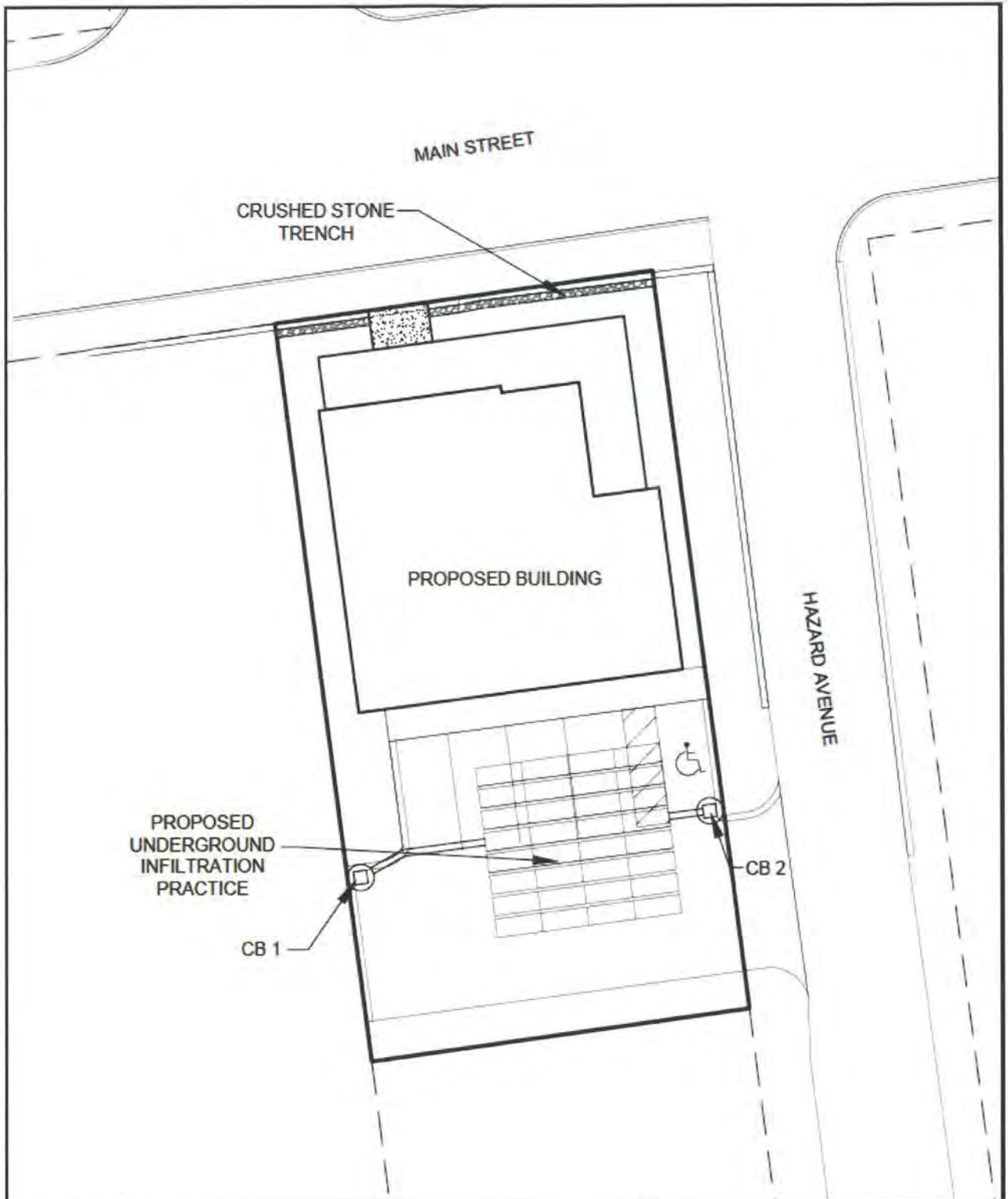
*TO BE DETERMINED UPON
CONTRACT AWARD*

Estimated Project Dates: Start Date: Upon Approval (Spring 2026)
Completion Date: Fall 2026

Prepared By: American Engineering, Inc.
400 South County Trail, Suite A201
Exeter, RI 02882
401-294-4090

Preparation Date: 09/25/2025
Revised 10/16/2025

The following plan identifies each component of the stormwater system



AMERICAN ENGINEERING, INC.

Professional Engineering & Professional Land Surveying

400 South County Trail - Suite A 201
 Exeter, Rhode Island, 02822
 Phone (401) 294-4090 / Fax (401) 294-3625

SCALE: NONE

DATE: 10/16/2025

Job Number: 125222

BMP MAP

FOR

KEYSTON, LLC.

LOCATED AT

**82 MAIN STREET
 SOUTH KINGSTOWN, RI**

Stormwater Facility Operation and Maintenance Plan
KEYSTONE, LLC.
82 Main Street
South Kingstown, Rhode Island

E.1 MAINTENANCE DESCRIPTION

A stormwater control system shall be regularly inspected to ensure proper performance and to prevent deficiencies in the effectiveness of the systems due to sediment build-up, damage, or deterioration. The maintenance of the Catch Basins, crushed stone trench, and underground infiltration practice shall be the responsibility of the property owner. The maintenance provider shall perform maintenance in accordance with Appendix E 'Guidance for developing Operation and Maintenance Plans' in the 'Rhode Island Stormwater Design and Installation Standards Manual', as amended. The following operation and maintenance provisions shall be provided.

E.1.1 Stormwater Basins and WWTs: (Not Used)

E.1.2 Underground Infiltration Practice

The proposed Infiltration practice shall be inspected bi-annually to ensure that design infiltration rates are being met. If sediment or organic debris build-up has reached an average depth of 3" in the isolator row, Jetvac (or equivalent) maintenance is required. See appendix for Manufacturers O&M Manual

The proposed Stone Infiltration trench shall be inspected annually to ensure that design infiltration rates are being met. If sediment or organic debris build-up has limited the infiltration capabilities to below the design rate, the top 6 inch peastone layer shall be removed and the crushed stone inspected to ensure that it is still performing as designed. If the crushed stone has clogged/failed it shall be removed and the subgrade scarified. Once completed, the crushed stone trench and 6" peastone diaphragm shall be replaced to original design specifications.

E.1.3 Permeable Pavement (Not Used)

E.1.4 Filters: (Not Used)

E.1.5 SEDIMENT FOREBAY (Not Used)

E.1.6 CATCH BASIN

Inspections shall be performed a minimum of 2 times a year (spring/fall). Units shall be cleaned annually and whenever the depth of sediment is greater than or equal to half the sump depth.

E.1.7 POLLUTION PREVENTION:

The following pollution prevention techniques shall be implemented for pre- & post-construction activities to minimize contamination of stormwater runoff:

1. Solid waste containment
2. Catch basin cleaning (if applicable)
3. Street sweeping
4. Snow removal management & salt storage
5. Hazardous chemical storage (if applicable)
6. Septic system maintenance
7. Vehicle storage (if applicable)
8. Vehicle fueling (if applicable)
9. Vehicle maintenance (if applicable)
10. Soil erosion

1. Solid waste containment - Provide waste containers for convenient disposal of solid waste for on-site individuals. Ensure all litter is routinely picked up and placed in waste containers so waste is not introduced into stormwater runoff.

2. Catch basin cleaning - Clean out catch basins to ensure they are free flowing and that all trash/sediment is removed from structure sump. Dispose offsite at an approved landfill facility in accordance with current regulations.

3. Street sweeping - Sweep all paved roadways annually which are subject to vehicular traffic. Dispose sweepings off-site at an approved landfill facility in accordance with current regulations.

4. Snow removal management & salt storage - Store road salt on impervious surfaces which are protected from precipitation and wind. All stormwater runoff shall be directed away from any salt storage areas. Stockpile accumulated snow away from areas which receive concentrated stormwater runoff such as detention ponds, catch basins, drainage swales, roadway gutters, etc.... Stockpile snow on pervious areas such as gravel or grass.

5. Hazardous chemical use & storage - all hazardous chemicals shall be stored inside a building or shed. This will ensure stormwater runoff will not encounter the chemicals. Provide secondary containment of all hazardous chemicals stored outside. Use all chemicals in strict conformance with manufacturer's recommendations (ie. do not apply too much, too often or in sensitive areas such as the detention pond, wetlands, near catch basins or channels, and other sensitive areas subject to stormwater runoff). Read label fully prior to use. Routinely inspect chemical storage areas for leaks and/or spills. Clean-up all leaks and/or spills immediately. All stormwater runoff shall be directed away from any hazardous chemical storage areas.

6. Septic system maintenance - if applicable, inspect septic system annually to ensure proper operation. Septic tanks will likely require a pump-out every 3 years to remove accumulated scum and sludge. Inspect pump and alarms to ensure system operation is functioning. Inspect leachfield area to ensure effluent is not surfacing (ie. an indication of failure). Make repairs immediately in accordance with RIDEM OWTS regulations.

7. Vehicle storage - all vehicles shall be stored in good working order. Vehicles not in good working order shall be stored inside a building or removed off-site. Inspect vehicles monthly to ensure vehicles have no leaking fluids. Leaking fluids shall be cleaned-up immediately. Vehicles with leaking fluids are not considered in good working order and shall be repaired or removed off-site immediately.
8. Vehicle fueling - all vehicle fueling shall be performed off-site.
9. Vehicle maintenance - all vehicle maintenance shall be performed off-site by qualified personnel.
10. Vehicle cleaning - all construction vehicle washing/cleaning shall be performed off-site.
11. Soil erosion - place silt fence and/or haybales around the downgradient perimeter of stockpile areas to prevent soil erosion into stormwater runoff. Inspect haybales/silt fence every 7 days and/or after every precipitation event of 0.25 inches or greater. Repair damaged/eroded areas immediately. Revegetate disturbed area as soon as possible and always prior to the winter season. Water down exposed earth areas during dry periods to prevent dust from being generated.

Greater detail on pollution prevention techniques can be found at the US Environmental Protection Agency's NPDES Stormwater web site.

E.2 Checklists

The following inspection checklists shall be filled out by the maintenance provider and maintained by the Owner for future reference.

Infiltration System Operation, Maintenance, and Management Inspection Checklist

Project:
 Location:
 Site Status:
 Date:
 Time:
 Inspector:

Note: Maintenance items in **bold** text are REQUIRED MAINTENANCE ELEMENTS.

MAINTENANCE ITEM	SATISFACTORY / UNSATISFACTORY	COMMENTS
1. Debris Cleanout (Annual)*		
The maintenance access manhole clear of debris or accumulated sediment.		
Inflow pipes clear of debris		
Inlet area clear of debris		
2. Dewatering (Annual)*		
Trench/chamber or basin dewaterers between storms		
3. Sediment Cleanout of Basin (Annual)*		
No evidence of sedimentation in trench/chamber or basin		
Does sedimentation accumulation require cleanout "		
4. Outlet/Overflow Spillway (Annual)*		
Annual inspection that inlet and outlet devices are free of debris		
Good condition, no need for repair		

No evidence of erosion at outfall		
5. Aggregate Repairs (Annual)*		
Annual inspection for damage		
Annual inspection for hydrocarbon build-up and removal if detected.		
Annual inspection for sediment accumulation in the facility		
Surface of aggregate clean		
Trench/chamber or basin does not need rehabilitation		
6. Catch Basins/Manholes (Semi-annually)		
Sedimentation noted		
Sediment cleanout when depth ,50% of sump depth		
7. Sediment Traps or Forebays (Annual)		
Obviously Trapping sediment		
Greater than 50% of storage volume remaining.		

***- Inspections shall be conducted annually and after storms equal to or greater than the 1-year 24-hour Type III storm event (2.71).**

****- If sedimentation or organic matter build-up reaches an average depth of 3 inches in the isolator row, Jetvac (or equivalent) maintenance is required.**

COMMENTS:

Appendix B — RIDEM Sample Stormwater Facility Maintenance Agreement

****A site specific Stormwater Facility Maintenance Agreement between the Owner and RIDEM shall be developed prior to construction****

Sample Stormwater Facility Maintenance Agreement

THIS AGREEMENT, made and entered into this _____ day of _____, 20____, by and between (Insert Full Name of Owner)

_____ hereinafter called the "Landowner, and the [Local Jurisdiction], hereinafter called the "[Town/City]". WITNESSETH, that WHEREAS, the Landowner is the owner of certain real property described as (Tax Map/Parcel Identification Number) _____ as recorded by deed in the land records of [Local Jurisdiction] Deed Book _____ Page _____, hereinafter called the "Property".

WHEREAS, the Landowner is proceeding to build on and develop the property; and WHEREAS, the Site Plan/Subdivision Plan known as _____

_____ (Name of Plan/Development) hereinafter

called the "Plan", which is expressly made a part hereof, as approved or to be approved by the [Town/City], provides for detention of stormwater within the confines of the property; and

WHEREAS, the [Town/City] and the Landowner, its successors and assigns, including any homeowners association, agree that the health, safety, and welfare of the residents of [Local Jurisdiction] require that on-site stormwater management facilities be constructed and maintained on the Property; and

WHEREAS, the [Town/City] requires that on-site stormwater management facilities as shown on the Plan be constructed and adequately maintained by the Landowner, its successors and assigns, including any homeowners association.

NOW, THEREFORE, in consideration of the foregoing premises, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The on-site stormwater management facilities shall be constructed by the Landowner, its successors and assigns, in accordance with the plans and specifications identified in the Plan.

2. The Landowner, its successors and assigns, including any homeowners association, shall adequately maintain the stormwater management facilities in accordance with the required Operation and Maintenance Plan. This includes all pipes, channels or other conveyances built to convey stormwater to the facility, as well as all structures, improvements, and vegetation provided to control the quantity and quality of the stormwater. Adequate maintenance is herein defined as good working condition so that these facilities are performing their design functions. The Stormwater Best Management Practices Operation, Maintenance and Management Checklists are to be used to establish what good working condition is acceptable to the [Town/City].

3. The Landowner, its successors and assigns, shall inspect the stormwater management facility and submit an inspection report annually. The purpose of the inspection is to assure safe and proper functioning of the facilities. The inspection shall cover the entire facilities, berms, outlet structure, basin areas, access roads, etc. Deficiencies shall be noted in the inspection report.

4. The Landowner, its successors and assigns, hereby grant permission to the [Town/City], its authorized agents and employees, to enter upon the Property and to inspect the stormwater management facilities whenever the [Town/City] deems necessary. The purpose of inspection is to follow-up on reported deficiencies and/or to respond to citizen complaints. The [Town/City] shall provide the Landowner, its successors and assigns, copies of the inspection findings and a directive to commence with the repairs if necessary.

5. In the event the Landowner, its successors and assigns, fails to maintain the stormwater management facilities in good working condition acceptable to the [Town/City], the [Town/City] may enter upon the Property and take whatever steps necessary to correct deficiencies identified in the inspection report and to charge the costs of such repairs to the Landowner, its successors and assigns. This provision shall not be construed to allow the [Town/City] to erect any structure of permanent nature on the land of the Landowner outside of the easement for the stormwater management facilities. It is expressly understood and agreed that the [Town/City] is under no obligation to routinely maintain or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the [Town/City].

6. The Landowner, its successors and assigns, will perform the work necessary to keep these facilities in good working order as appropriate. In the event a maintenance schedule for the stormwater management facilities (including sediment removal) is outlined on the approved plans, the schedule will be followed.

7. In the event the [Town/City] pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner, its successors and assigns, shall reimburse the [Town/City] upon demand, within thirty (30) days of receipt thereof for all actual costs incurred by the [Town/City] hereunder.

8. This Agreement imposes no liability of any kind whatsoever on the [Town/City] and the Landowner agrees to hold the [Town/City] harmless from any liability in the event the stormwater management facilities fail to operate properly.

9. This Agreement shall be recorded among the land records of [Local Jurisdiction] and shall constitute a covenant running with the land, and shall be binding on the Landowner, its administrators, executors, assigns, heirs and any other successors in interests, including any homeowners association.

WITNESS the following signatures and seals:

Company/Corporation/Partnership Name (Seal)

By:

(Type Name and Title)

The foregoing Agreement was acknowledged before me this _____ day of _____, 20____, by _____

NOTARY PUBLIC
My Commission Expires: _____

By: _____

(Type Name and Title)

The foregoing Agreement was acknowledged before me this _____ day of
_____ 20__ ,
by _____

NOTARY PUBLIC

My Commission Expires: _____

Approved as to Form:

[Town/City] Attorney Date

End of O & M Plan