

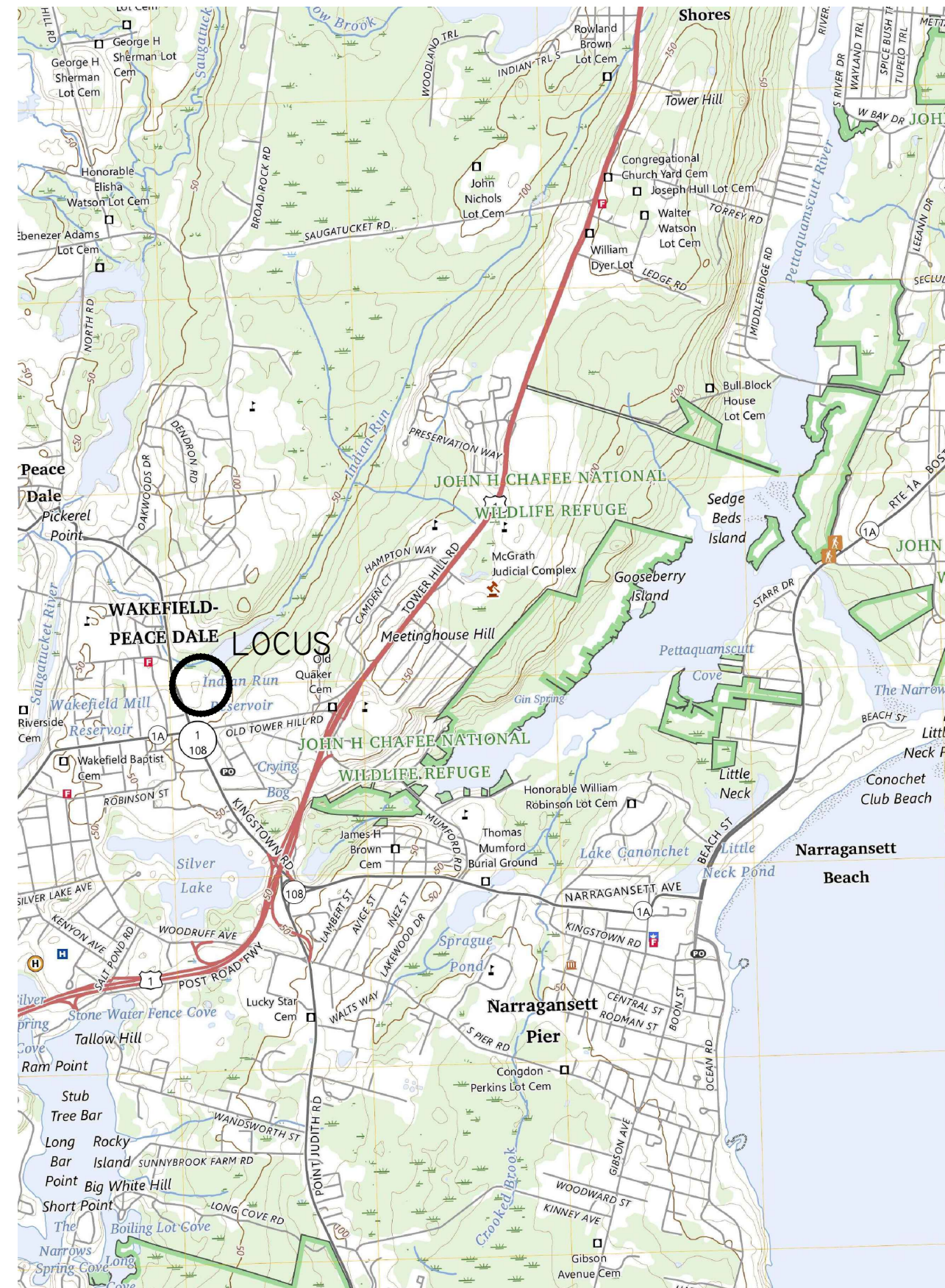
"GREENHOUSE DISPENSARY"

in South Kingstown, Rhode Island

DATE: October 7, 2025

INDEX OF DRAWINGS

REGISTRY USE ONLY



LOCATION MAP

SCALE 1"= 1000'

SUBJECT TO A COVENANT DULY EXECUTED DATED THE _____ DAY OF _____, RUNNING WITH THE LAND, TO BE DULY RECORDED BY OR FOR THE OWNER OF RECORD, THIS PLAN IS SUBJECT TO ALL CONDITIONS OF THE SOUTH KINGSTOWN PLANNING BOARD CERTIFICATE OF ACTION DATED _____ FILED WITH THE SOUTH KINGSTOWN TOWN CLERK ON _____ AND HERewith RECORDED AS A PART OF THIS PLAN.

I HEREBY CERTIFY THAT THERE HAS BEEN NO APPEAL TAKEN TO THIS PLANNING BOARD ACTION DURING THE 20 DAY STATUTORY APPEAL PERIOD.
DATE: _____
TOWN CLERK, TOWN OF South Kingstown _____

SHEET NUMBER

- 1.
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.
- 8.
- 9.
- 10.

DESCRIPTION

- COVER SHEET
- RHODE ISLAND DIGITAL AERIAL PHOTOGRAPH
- EXISTING CONDITIONS
- SITE LAYOUT PLAN
- CONCEPTUAL LIGHTING PLAN
- GRADING, DRAINAGE & UTILITY PLAN
- EROSION & SEDIMENT CONTROL PLAN
- DETAIL SHEET (1 OF 3)
- DETAIL SHEET (2 OF 3)
- DETAIL SHEET (3 OF 3)

PROPERTY NOTES:

1. LOT SHOWN IS DESIGNATED AS LOT 76 ON SOUTH KINGSTOWN ASSESSORS MAP 57-2
2. OWNER OF RECORD: - OFFSHORE DEVELOPMENT
EDGEWOOD FARM ENTERPRISES
17 ARNOLD STREET
WAKEFIELD, RI 02879
BOOK 1902 PAGE 536
3. ZONING DISTRICT: CH - COMMERCIAL HIGHWAY

GENERAL NOTES:

4. SITE IS PARTIALLY LOCATED IN FEMA FLOOD ZONE X (AREA OF MINIMAL FLOOD HAZARD) AS SHOWN ON FIRM PANEL 44090C 0203 K EFFECTIVE ON APRIL 3, 2020.
5. FRESHWATER WETLANDS DELINEATED BY NATURAL RESOURCE SERVICES, INC. RIVERBANK AND WETLAND EDGES LOCATED BY SCITUATE SURVEYS, INC
6. FRESHWATER WETLANDS APPROVAL MAY BE REQUIRED FROM RIDEM. ALL SITE WORK SHALL COMPLY WITH THE REQUIREMENTS OF WETLAND PERMIT NO. 20-0161.
7. THE CONTOURS AND ELEVATIONS SHOWN ON THIS PLAN REFERENCE THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)
8. THE HORIZONTAL DATUM FOR THE LOCATIONS SHOWN HEREON IS THE R.I.S.P.C.
9. THERE ARE NO AREAS CONTAINING PRIME AGRICULTURAL SOILS AND NO AREAS OF ACTIVE AGRICULTURAL USE ON THE SITE.
10. THERE ARE NO KNOWN HISTORIC CEMETERIES ON THE SITE.
11. THERE ARE NO KNOWN UNIQUE HISTORIC OR NATURAL FEATURES PRESENT ON THE SITE.
12. THERE ARE NO KNOWN WATERSHEDS ON THE SITE.
13. THE SITE IS NOT LOCATED WITHIN ANY OF THE FOLLOWING AREAS: NATURAL HERITAGE AREAS, THE AREA UNDER THE JURISDICTION OF THE NARROW RIVER SPECIAL AREA MANAGEMENT PLAN, THE AREA UNDER THE JURISDICTION OF THE SALT PONDS REGION SPECIAL AREA MANAGEMENT PLAN, THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT, AREAS WITHIN A TMDL WATERSHED, AN OWTS CRITICAL RESOURCE AREA, OR A DRINKING WATER SUPPLY WATERSHED.
14. THE SITE AND THE BUILDINGS HEREON ARE NOT LISTED ON THE NATIONAL REGISTER OF HISTORIC PLACES.
15. EVIDENCE OF UTILITIES IS COMPILED FROM SURVEY LOCATIONS AND RECORDS PROVIDED BY OTHER SOURCES. THE UTILITY INFORMATION DEPICTED MAY NOT BE ACCURATE OR COMPLETE, AND IS SUBJECT TO SUCH CHANGES AS ADDITIONAL DATA MAY DISCLOSE. ALL EXCAVATION MUST BE PRECEDED BY CONTACTING "DIG-SAFE" FOR A MORE RELIABLE LAYOUT OF EXISTING UTILITIES.
16. APPROXIMATE LOCATION OF INDIAN RUN BROOK TAKEN FROM THE RHODE ISLAND D.E.M. AERIAL MAPPING WEBSITE IN APRIL, 2020.
17. ZONING LINES SHOWN ON PLAN ARE APPROXIMATE AND HAVE BEEN OBTAINED FROM THE TOWN OF SOUTH KINGSTOWN GIS DATABASE

PLAN REFERENCE:

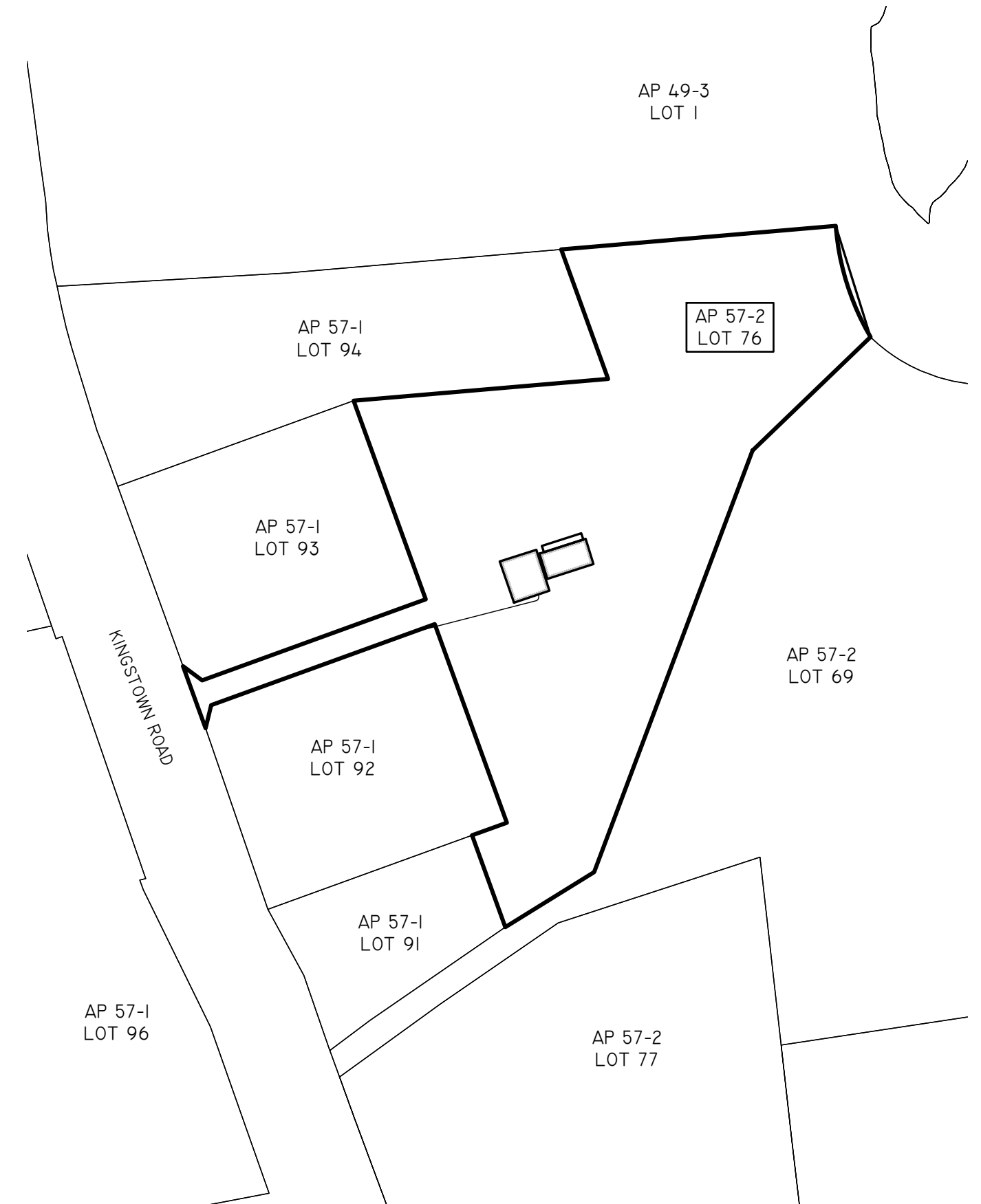
1. EXISTING CONDITIONS PLAN OF PROPOSED COMPASSION CENTER - ASSESSOR'S PLAT 57-2 LOT 76 KINGSTOWN ROAD, SOUTH KINGSTOWN, RHODE ISLAND; PREPARED FOR: RHODE ISLAND CARE CONCEPTS, INC.; BY: SCITUATE SURVEYS, INC.; DATED JUNE 13, 2020; SCALE: 1" = 30'
2. PROPOSED COMPASSION CENTER PLAN - ASSESSOR'S PLAT 57-2 LOT 76 - SITE DEVELOPMENT PLAN; PREPARED FOR: RHODE ISLAND CARE CONCEPTS, INC. BY: S.F.M. ENGINEERING ASSOCIATES; DATED JUNE 15, 2020; REVISED 8-23-21; SCALE: 1" = 20'
3. PLAN ENTITLED "DIVISION OF LAND AT THE VILLAGE OF WAKEFIELD IN THE TOWN OF SOUTH KINGSTOWN, RHODE ISLAND; OWNED BY MARY D. FRISSELLA & SYLVESTER A. CAPALBO ; DATED MAY 1977; BY JOSEPH W. FRISSELLA, CIVIL ENGINEER" RECORDED IN THE SOUTH KINGSTOWN LAND EVIDENCE RECORDS AT BOOK 16, PAGE 1464.
4. PLAN ENTITLED "LAND AT WAKEFIELD IN SOUTH KINGSTOWN, R.I. OWNED BY PEACEDALE OFFICES, INC. LOTS 3 & 4 TO BE DEEDED TO IRVING E. YOST; SCALE 1"=100"; DATE: AUG. 7, 1939; BY T. G. HAZARD, JR. SURVEYOR.
5. RHODE ISLAND STATE HIGHWAY PLAT #1412

DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL HIGHWAY - CH - ZONING DISTRICT

| | |
|-----------------------------|---------------|
| MINIMUM AREA | = 20,000 S.F. |
| FRONTAGE & WIDTH | = 100' |
| FRONT YARD SETBACK | = 40' |
| SIDE YARD SETBACK | = 30' |
| REAR YARD SETBACK | = 40' |
| MAXIMUM BUILDING HEIGHT | = 35' |
| MAX. % OF BUILDING COVERAGE | = 30% |

| Ground Water & Ledge Depth table | | | | | | |
|----------------------------------|------------|---------------|-----------|------------|-------------|-------------|
| Test Pit | SHWT Depth | Exist. Ground | HTM Depth | SHWT Elev. | Ledge Depth | Ledge Elev. |
| 1 | 66" | 39.7 | 7.0' | 34.2 | 8+ | 31.7 |
| 2 | 78" | 40.5 | 6.0' | 34.0 | 7+ | 33.5 |
| 3 | 84" | 40.8 | 7.3' | 33.8 | 9+ | 31.8 |



SITE MAP

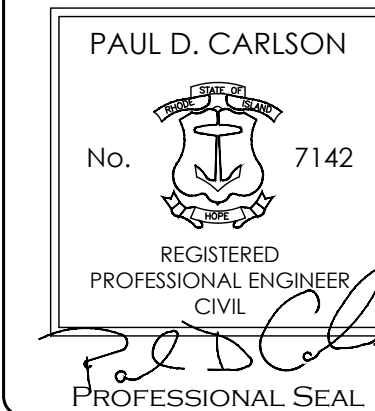
SCALE 1"= 100'

| REVISION | DATE | COMMENTS |
|----------|--------------|---|
| 0 | SEP 25, 2025 | INITIAL TOWN SUBMISSION |
| 1 | OCT 7, 2025 | RESPONSE TO NOTIF. OF INCOMP. SUBMITTAL |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

SOUTH KINGSTOWN PLANNING BOARD
APPROVED UNDER SUBDIVISION CONTROL LAW

**NOT FOR
CONSTRUCTION**

COVER SHEET



"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET WAKEFIELD, RI 02879

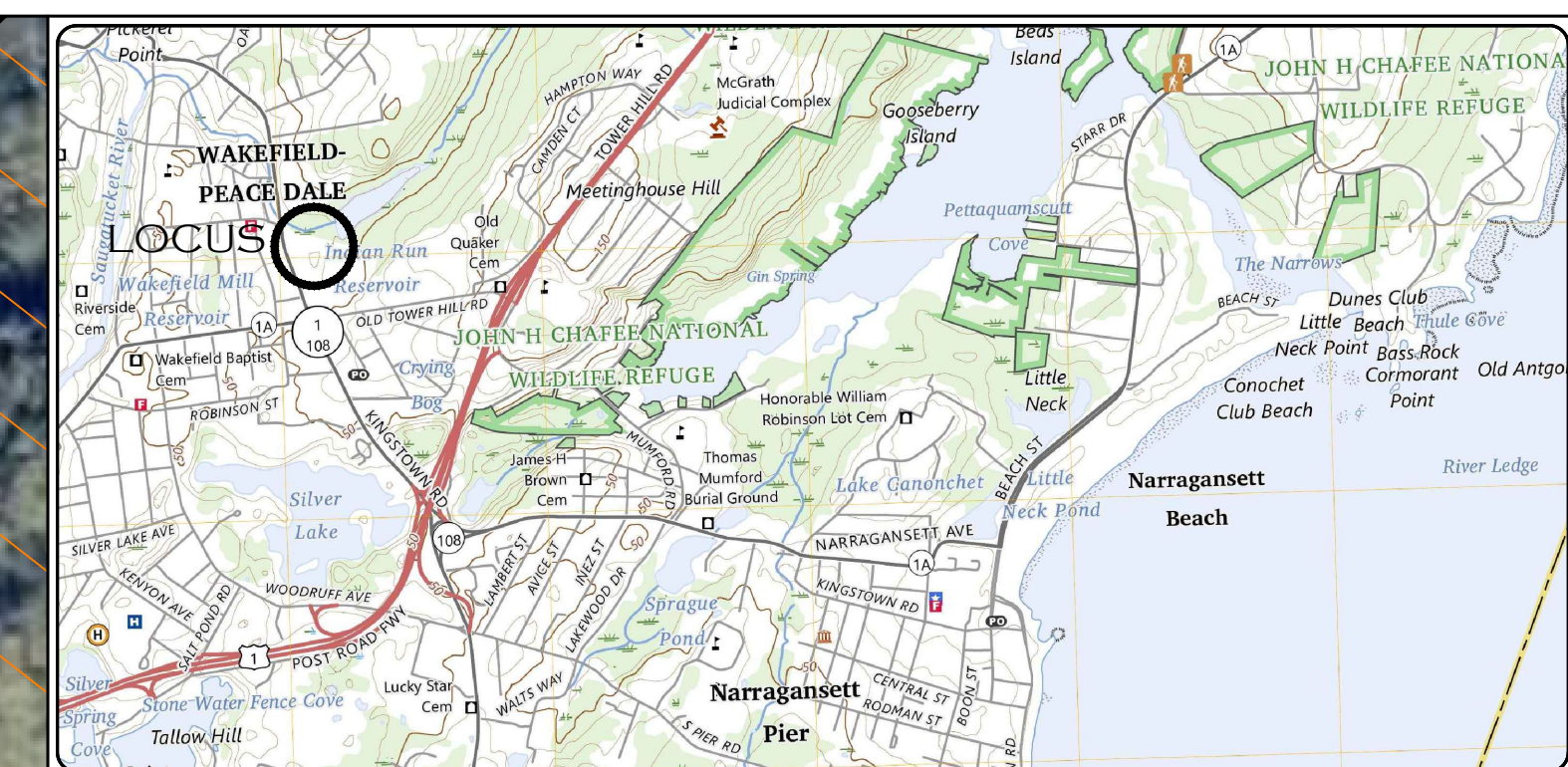
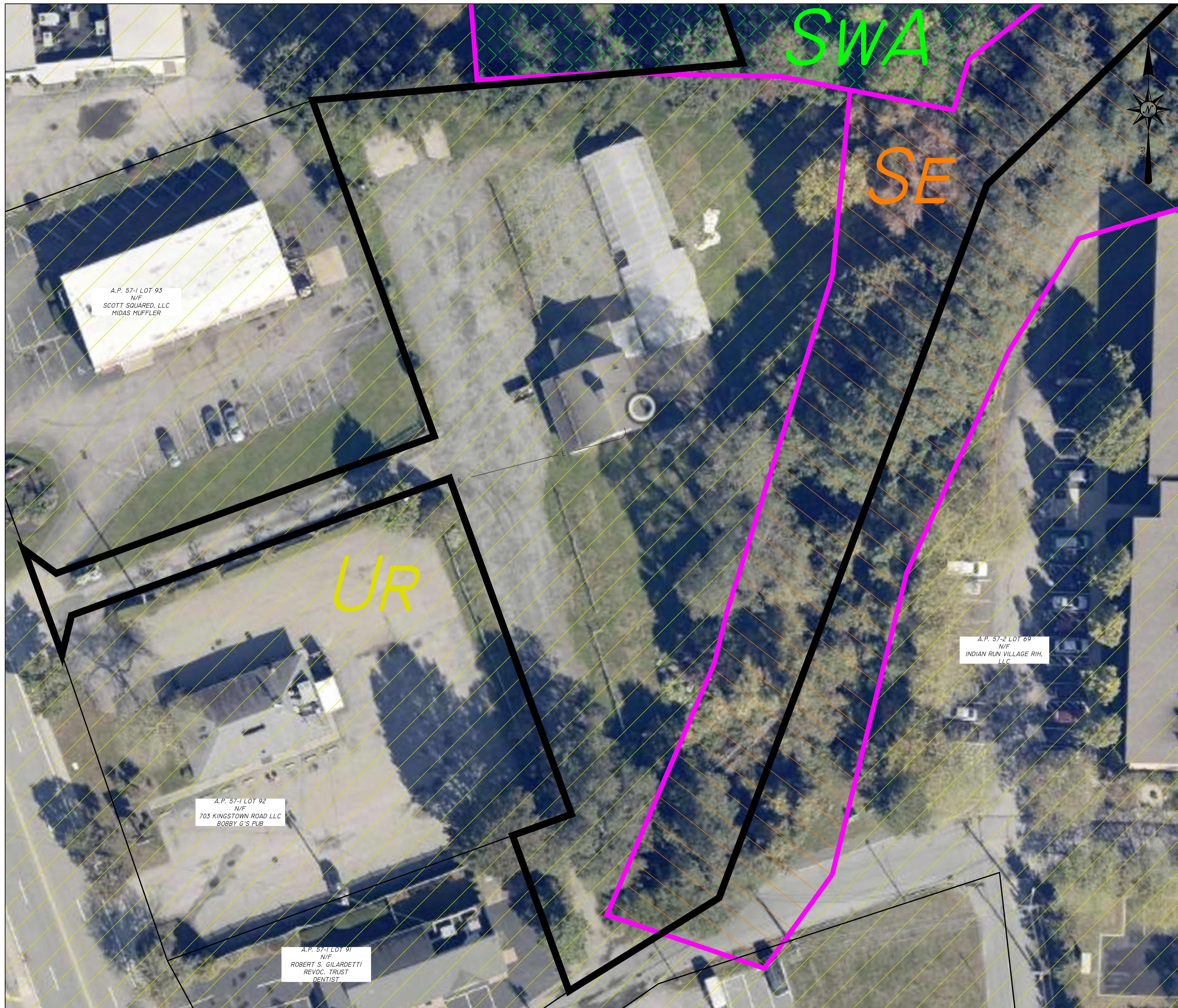
JOB # 24-045 SCALE: AS SHOWN DRAWN BY: LJJ DATE: OCTOBER 7, 2025

REVISED:



InSite Professional Complex, Suite 1
1539 Fall River Avenue Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET
1
OF 10



LOCATION (NOT TO SCALE) MAP

PROPERTY NOTES:




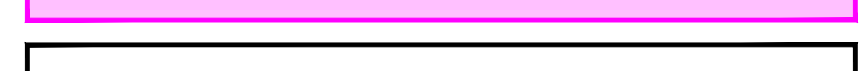

- LOT SHOWN IS DESIGNATED AS LOT 76 ON SOUTH KINGSTOWN ASSESSORS MAP 57-2
- OWNER OF RECORD - OFFSHORE DEVELOPMENT
EDGEWOOD FARM ENTERPRISES
17 ARNOLD STREET
WAKEFIELD, RI 02879
BOOK 1902 PAGE 536
- ZONING DISTRICT: CH - COMMERCIAL HIGHWAY

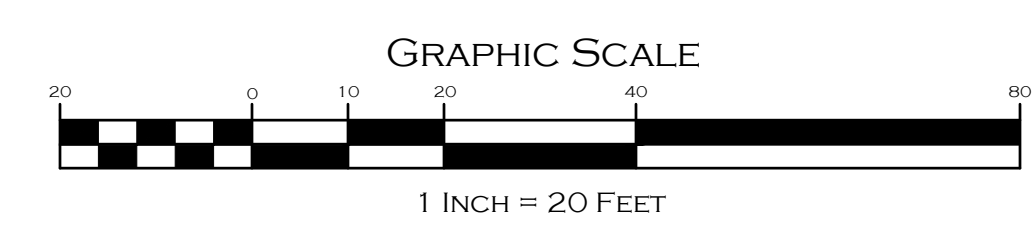
DIMENSIONAL ZONING REQUIREMENTS:

COMMERCIAL HIGHWAY - CH - ZONING DISTRICT

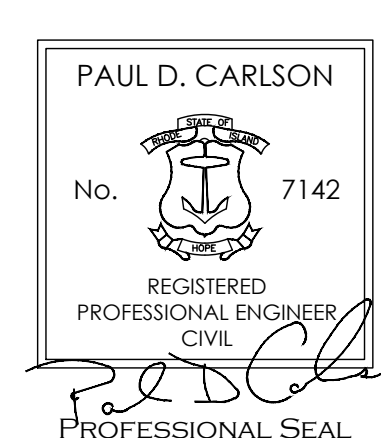
| | |
|-----------------------------|---------------|
| MINIMUM AREA | = 20,000 S.F. |
| FRONTAGE & WIDTH | = 100' |
| FRONT YARD SETBACK | = 40' |
| SIDE YARD SETBACK | = 30' |
| REAR YARD SETBACK | = 40' |
| MAXIMUM BUILDING HEIGHT | = 35' |
| MAX. % OF BUILDING COVERAGE | = 30% |

SOIL GROUPS: NOTES:

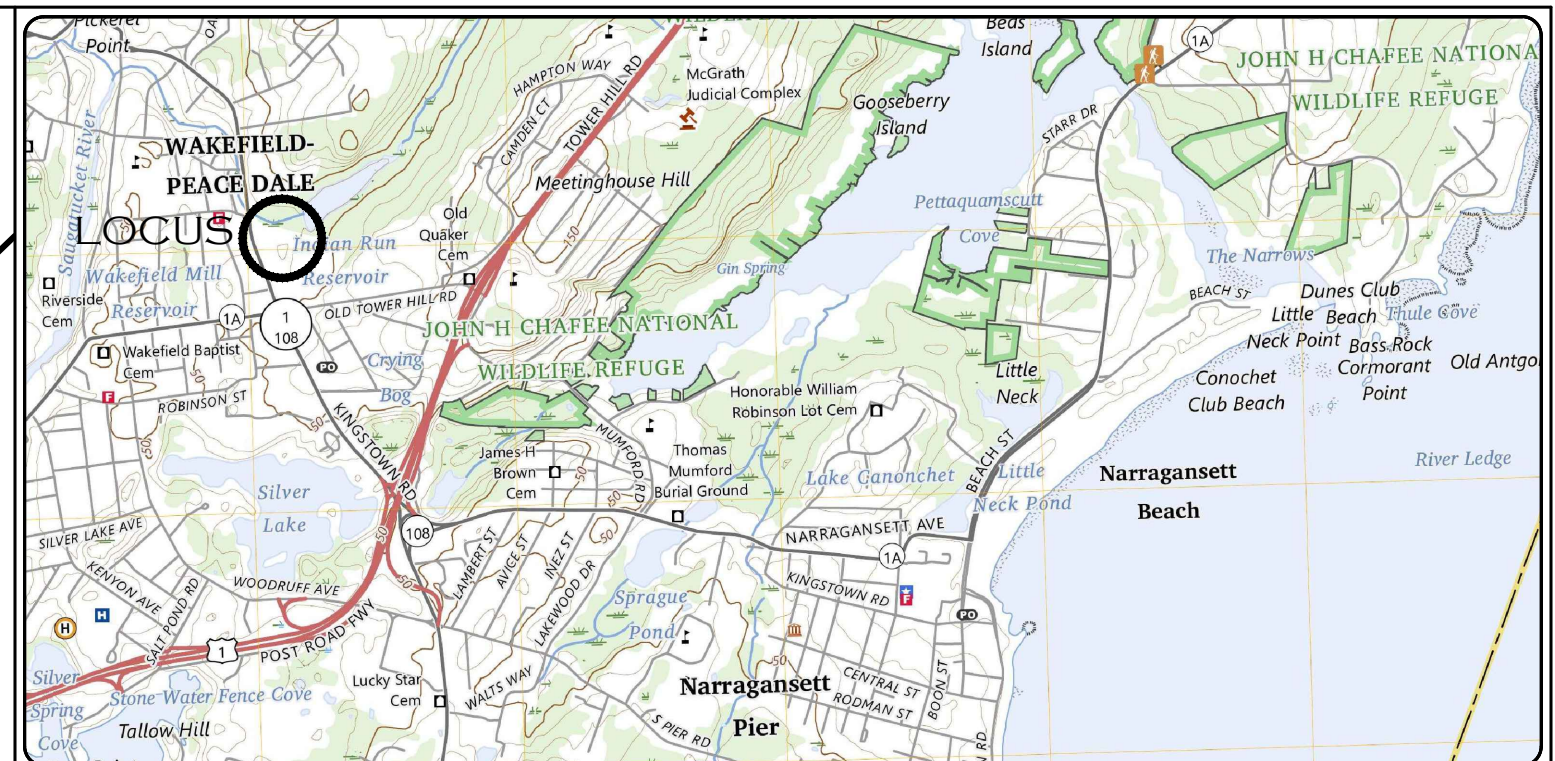
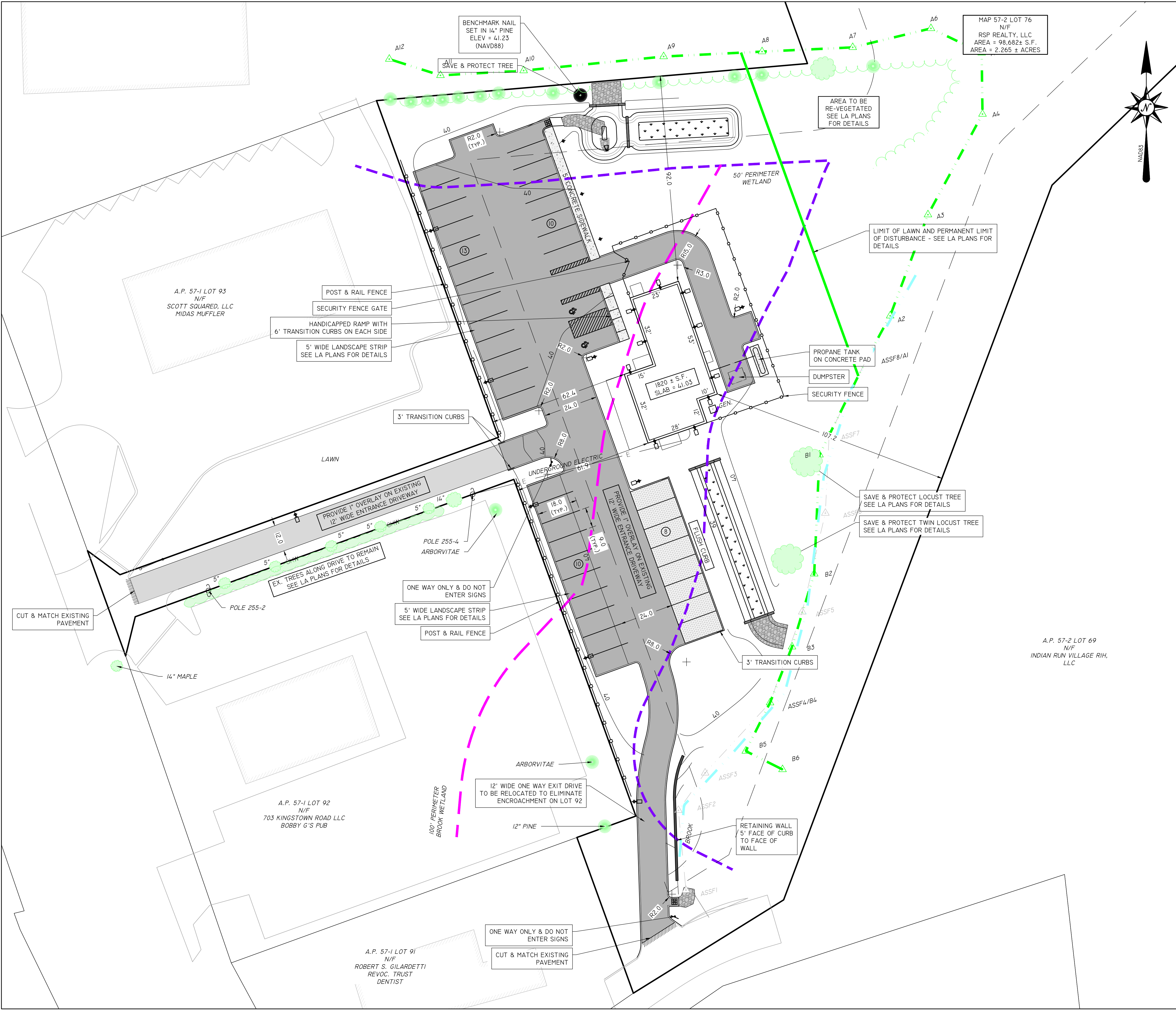
| | |
|------------------------------------|---|
| UR - URBAN LAND - RATING B/D |  |
| SE - STISSING SILT LOAM - RATING D |  |
| SWA - SWANSEA MUCK - RATING B/D |  |
| SOIL BOUNDARY |  |
| SUBJECT PROPERTY |  |



RHODE ISLAND DIGITAL AERIAL PHOTOGRAPH

| | | | |
|---|---|------------------|--------------------------|
|  | "GREENHOUSE DISPENSARY" 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789 ASSESSORS PLAT 57-2 LOT 76 | | |
| | APPLICANT: GREENHOUSE DISPENSARY INC. 225 MAIN STREET, WAKEFIELD, RI 02879 | | |
| JOB # 25-045 | SCALE: 1" = 20' | DRAWN BY: LJJ | DATE: OCTOBER 7, 2025 |
| REVISED: | | | |

| | | |
|---|--|--|
|  | InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InSiteEngineers.com | SHEET 2 OF 10 |
|---|--|--|



PROPERTY NOTES:

- LOT SHOWN IS DESIGNATED AS LOT 76 ON SOUTH KINGSTOWN ASSESSORS MAP 57-2
- OWNER OF RECORD: - OFFSHORE DEVELOPMENT
EDGEWOOD FARM ENTERPRISES
17 ARNOLD STREET
WAKEFIELD, RI 02879
BOOK 1902 PAGE 536
- ZONING DISTRICT: CH - COMMERCIAL HIGHWAY
- THERE ARE NO PROPOSED EASEMENTS ON THE SUBJECT PROPERTY
- THERE IS 36,848± S.F. OF WETLAND AREA CLASSIFIED AS "UNSUITABLE FOR DEVELOPMENT" ON THE SUBJECT PROPERTY.

DIMENSIONAL ZONING REQUIREMENTS:

| COMMERCIAL HIGHWAY - CH - ZONING DISTRICT | |
|---|---------------|
| MINIMUM AREA | = 20,000 S.F. |
| FRONTAGE & WIDTH | = 100' |
| FRONT YARD SETBACK | = 40' |
| SIDE YARD SETBACK | = 30' |
| REAR YARD SETBACK | = 40' |
| MAXIMUM BUILDING HEIGHT | = 35' |
| MAX. % OF BUILDING COVERAGE | = 30% |

EXISTING LOT COVERAGE:

| | | |
|------------------------|-------------|-------|
| BUILDINGS: | 5,100 S.F. | 5.2% |
| BIT PAVEMENT: | 3,700 S.F. | 3.7% |
| GRAVEL PAVEMENT: | 35,245 S.F. | 35.7% |
| CONCRETE WALKS / PADS: | 1,245 S.F. | 1.3% |
| LANDSCAPED / WOODS: | 53,392 S.F. | 54.1% |

PROPOSED LOT COVERAGE:

| | | |
|------------------------|-------------|-------|
| BUILDINGS: | 1,815 S.F. | 1.8% |
| OVERHANGS: | 410 S.F. | 0.4% |
| BIT PAVEMENT: | 15,810 S.F. | 16.0% |
| GRASS PAVERS: | 1,320 S.F. | 1.3% |
| CONCRETE WALKS / PADS: | 705 S.F. | 0.7% |
| LANDSCAPED / WOODS: | 78,622 S.F. | 79.8% |

- SITE NOTES:**
- ALL AREAS WITHIN THE LIMITS OF SITE DISTURBANCE NOT OTHERWISE DESIGNATED SHALL BE LANDSCAPED OR LOAMED & SEEDDED. SEE LANDSCAPE ARCHITECT PLANS.
 - TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE SITE PERIMETER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK IS ALLOWED.
 - A CONTINUOUS LINE OF EROSION CONTROL SHALL BE INSTALLED ALONG THE LIMITS OF SITE DISTURBANCE AND SHALL BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED.
 - PARKING LOT AND BUILDING SECURITY LIGHTING SHALL HAVE CUT OFF TYPE FIXTURES THAT SHALL PREVENT LIGHT INTRUSION ONTO ADJUTING PROPERTIES OR TOWARDS WETLANDS.

NOT FOR CONSTRUCTION

GRAPHIC SCALE

1 INCH = 20 FEET

SITE LAYOUT PLAN

"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET, WAKEFIELD, RI 02879

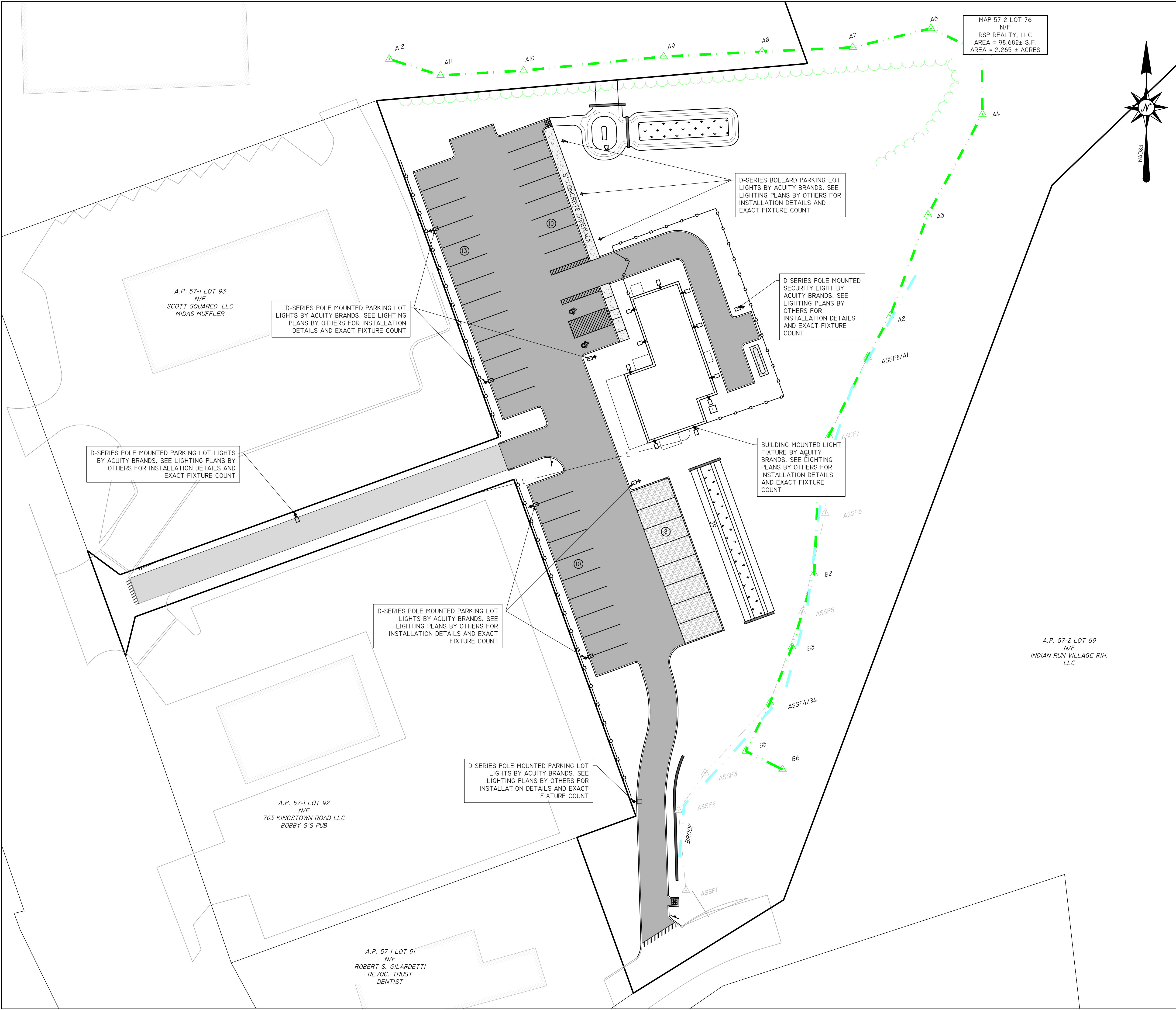
| | | | |
|-----------------|--------------------|------------------|--------------------------|
| JOB # 25-045 | SCALE: 1" = 20' | DRAWN BY: LJG | DATE: OCTOBER 7, 2025 |
|-----------------|--------------------|------------------|--------------------------|

REVISED:

| | | | |
|--|--|--|-----------------------------------|
| | | InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InSiteEngineers.com | SHEET 4 OF 10 |
| | | Precision. Clarity. Certainty. | |

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135-045 711 Kingstown Road - South Kingstown - Frances CAD/25-045 - ENR 8/8/25 - 003 - Update Existing.dwg, 10/7/2025, 1:46:35 PM



MAP 57-2 LOT 76
N/F
RSP REALTY, LLC
AREA = 98,682± S.F.
AREA = 2.265 ± ACRES

D-SERIES POLE MOUNTED PARKING LOT LIGHTS BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

D-SERIES POLE MOUNTED PARKING LOT LIGHTS BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

D-SERIES BOLLARD PARKING LOT LIGHTS BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

D-SERIES POLE MOUNTED SECURITY LIGHT BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

BUILDING MOUNTED LIGHT FIXTURE BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

D-SERIES POLE MOUNTED PARKING LOT LIGHTS BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

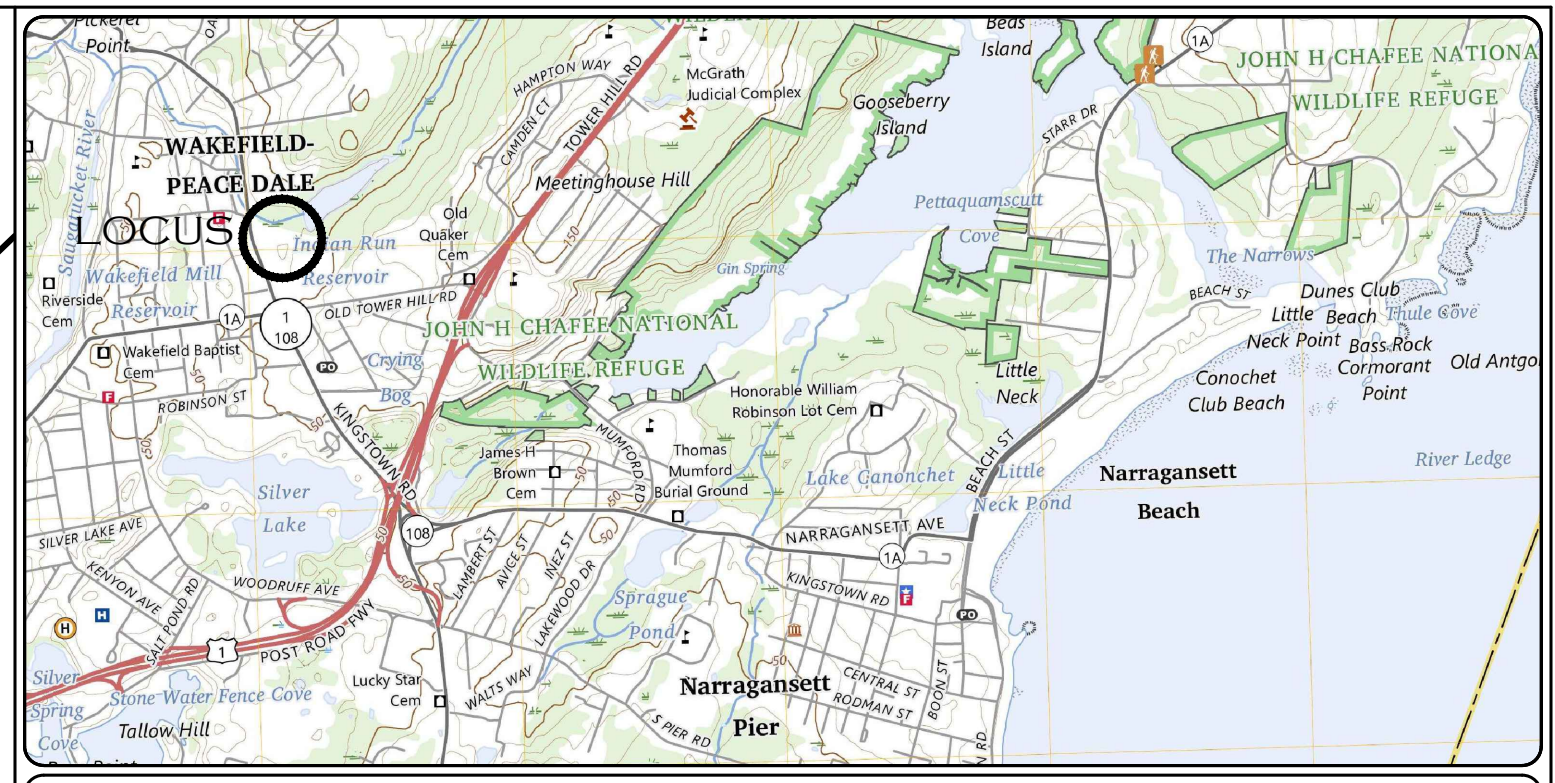
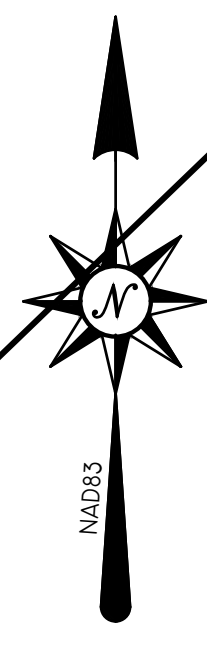
D-SERIES POLE MOUNTED PARKING LOT LIGHTS BY ACUITY BRANDS. SEE LIGHTING PLANS BY OTHERS FOR INSTALLATION DETAILS AND EXACT FIXTURE COUNT

A.P. 57-1 LOT 93
N/F
SCOTT SQUARED, LLC
MIDAS MUFFLER

A.P. 57-1 LOT 92
N/F
703 KINGSTOWN ROAD LLC
BOBBY G'S PUB

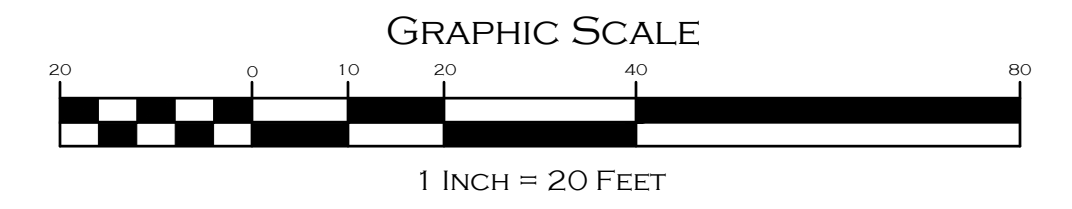
A.P. 57-1 LOT 91
N/F
ROBERT S. GILARDETTI
REVOC. TRUST
DENTIST

A.P. 57-2 LOT 69
N/F
INDIAN RUN VILLAGE RIH,
LLC



LOCATION (NOT TO SCALE) MAP

NOT FOR CONSTRUCTION



CONCEPTUAL LIGHTING PLAN

PAUL D. CARLSON
No. 7142
REGISTERED PROFESSIONAL ENGINEER
CIVIL
PROFESSIONAL SEAL

"GREENHOUSE DISPENSARY"
711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
225 MAIN STREET, WAKEFIELD, RI 02879

| | | | |
|-----------------|--------------------|------------------|--------------------------|
| JOB # 25-045 | SCALE: 1" = 20' | DRAWN BY: LJG | DATE: OCTOBER 7, 2025 |
|-----------------|--------------------|------------------|--------------------------|

REVISED:

INSITE Engineering Services, LLC
PROFESSIONAL ENGINEERS | LAND SURVEYORS
Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
1539 Fall River Avenue, Seekonk, MA 02771
Phone: (508) 336-4500 Fax: (508) 336-4558
Web Address: InSiteEngineers.com

SHEET 5
OF 10

I:\25-045 711 Kingstown Road - South Kingstown - Frances CAD\25-045 - ENR 25-045 - 002 - Update Existing.dwg, 10/7/2025, 1:46:37 PM

DISCLAIMER:

-THESE DRAWINGS ARE FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INTENDED FOR CONSTRUCTION. VALUES REPRESENTED ARE AN APPROXIMATION GENERATED FROM MANUFACTURERS PHOTOMETRIC IN-HOUSE OR INDEPENDANT LAB TEST WITH DATA SUPPLIED BY LAMP MANUFACTURERS.

SCHEDULE

| Symbol | Label | Quantity | Manufacturer | Catalog Number | Description | Light Loss Factor | Wattage |
|--------|-------|----------|-------------------|------------------------------|--|-------------------|---------|
| | A | 4 | Lithonia Lighting | DSX1 LED P2 30K 80CRI BLC4 | DSX1 TYPE IV BACKLIGHT CONTROL MOUNTED @ 20'-0" AFF *ADVISE POLE* | 0.9 | 67.79 |
| | B | 0 | Lithonia Lighting | DSX1 LED P1 30K 80CRI T4M | DSX1 TYPE IV MEDIUM TWIN HEAD MOUNTED @ 20'-0" AFF *ADVISE POLE* | 0.9 | 101.8 |
| | C | 3 | Lithonia Lighting | DSX1 LED P1 30K 80CRI T2M HS | DSX1 TYPE II MEDIUM MOUNTED @ 20'-0" AFF *ADVISE POLE* | 0.9 | 50.9015 |
| | D | 10 | Lithonia Lighting | WPX1 LED P2 30K Mvolt | WPX1 WALL MOUNTED @ 15'-0" | 0.9 | 23.26 |

STATISTICS

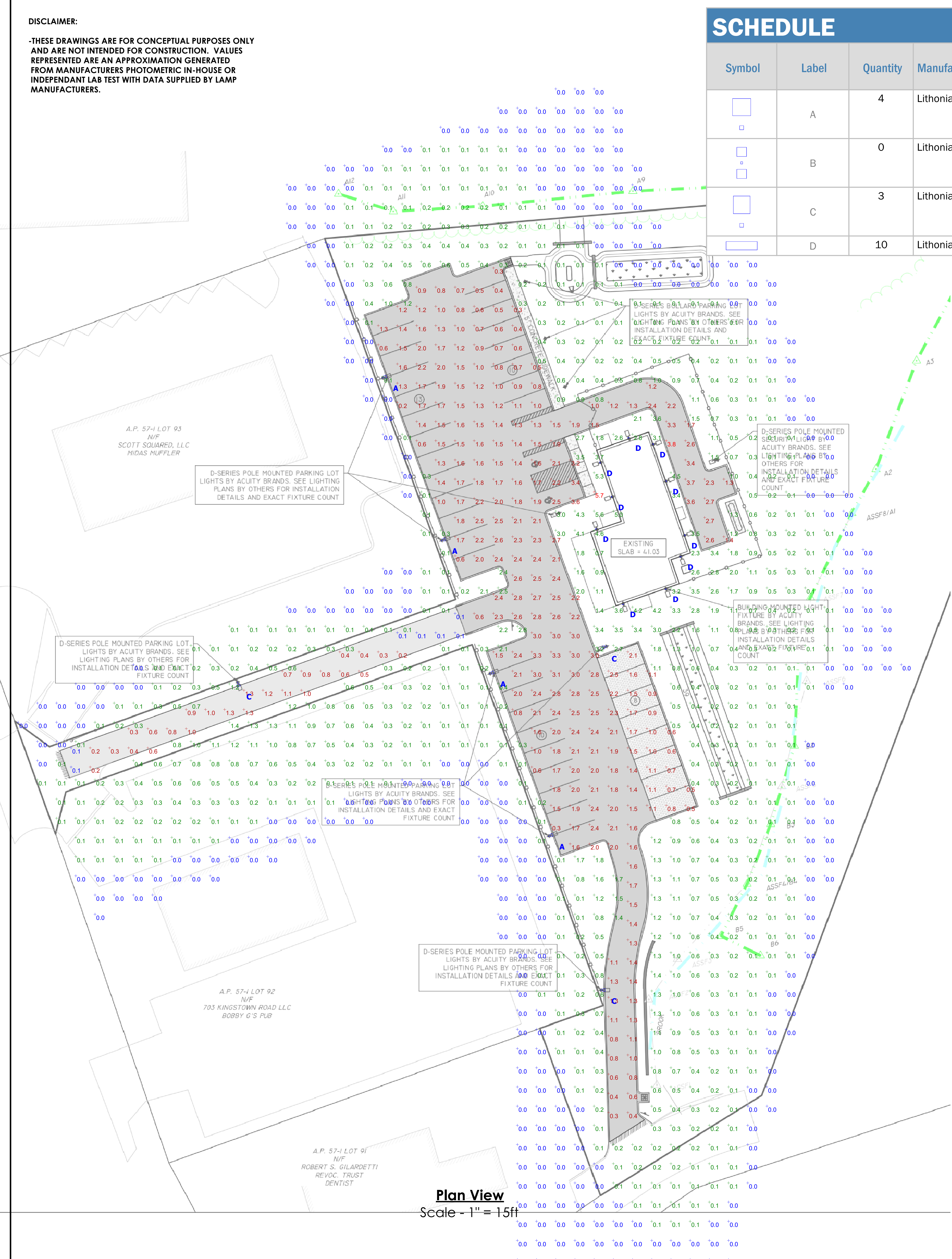
| DESCRIPTION | SYMBOL | AVG. | MAX | MIN. | MAX/MIN | AVG/MIN |
|-------------|--------|--------|--------|--------|---------|---------|
| GROUND | + | 0.4 fc | 5.7 fc | 0.0 fc | N/A | N/A |
| PAVEMENT | + | 1.6 fc | 3.8 fc | 0.1 fc | 38.0:1 | 16.0:1 |

NOTES:

-REFLECTANCES ASSUMED:
WALL: 50
FLOOR: 20

- MOUNTING HEIGHTS:
POLES: 20'-0"
WALL PACK: 15'-0"

- TASK HEIGHT: 0' ABOVE GRADE
- CALCULATION POINT SPACING: 8'X8' OC

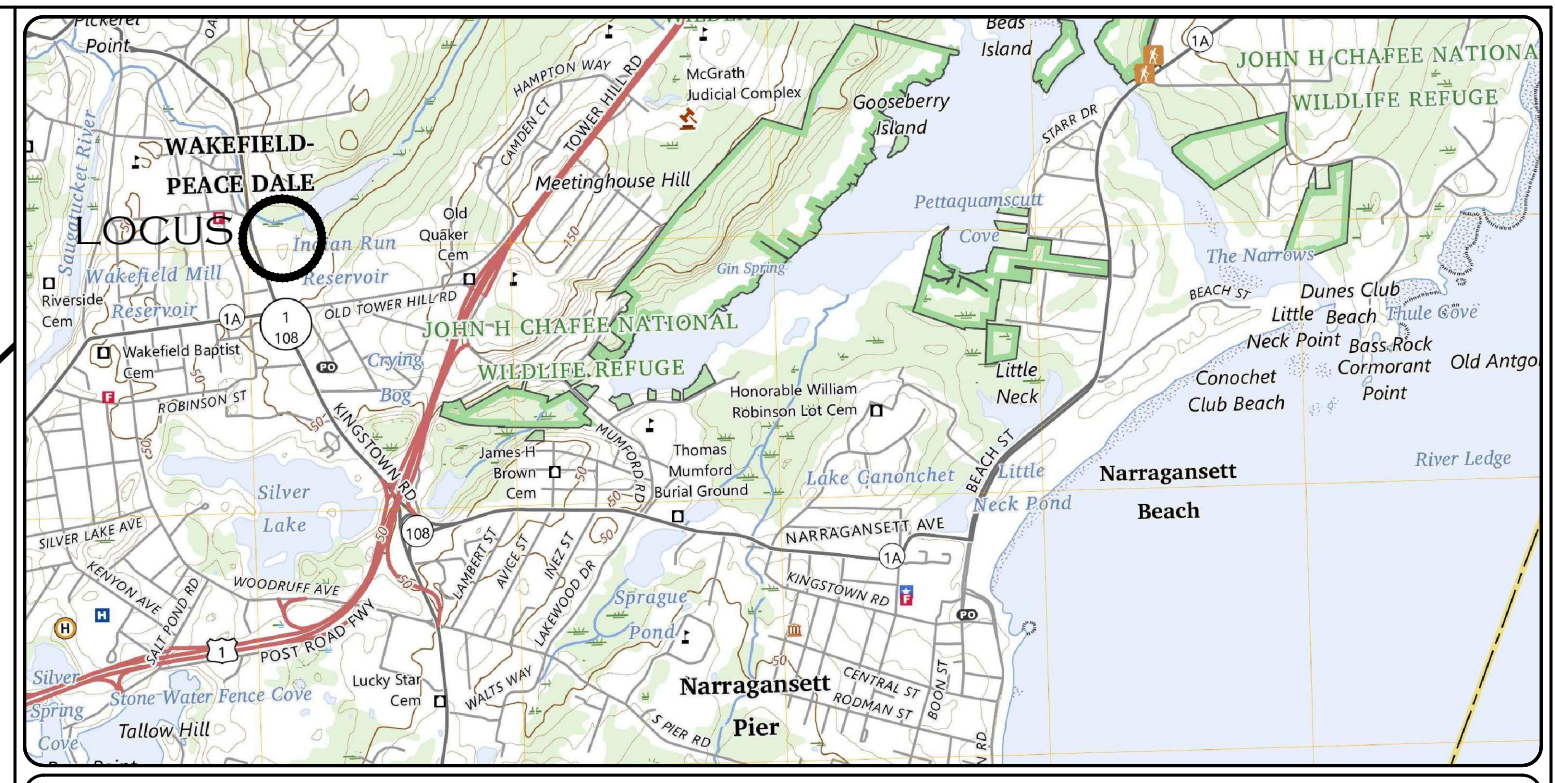
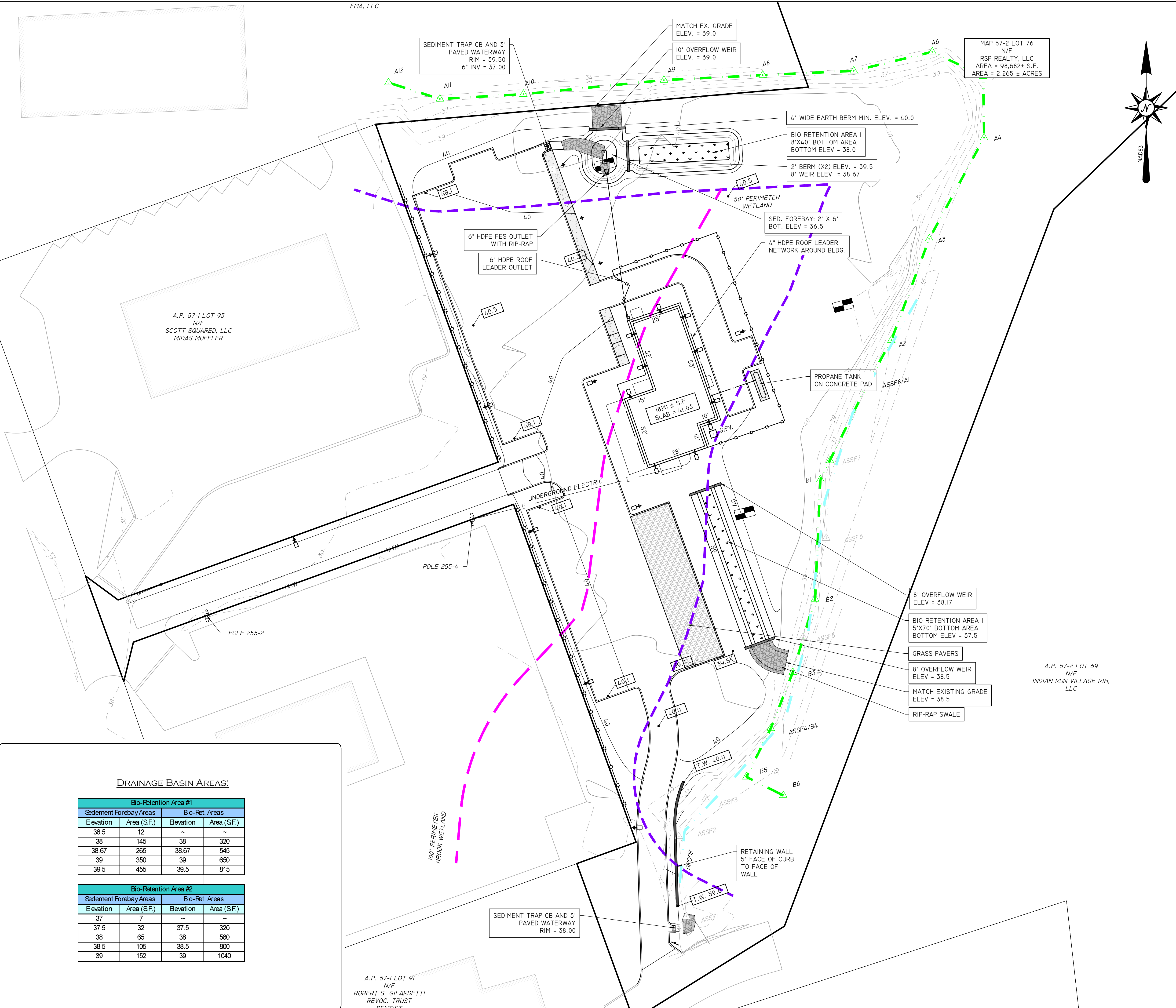


Plan View
Scale - 1" = 15ft



711 Kingston Rd
09-24-2025

Designer: JAM
Date: 09/23/2025
Scale: Not to Scale
Drawing No.: Summary
1 of 1



LOCATION (NOT TO SCALE) MAP

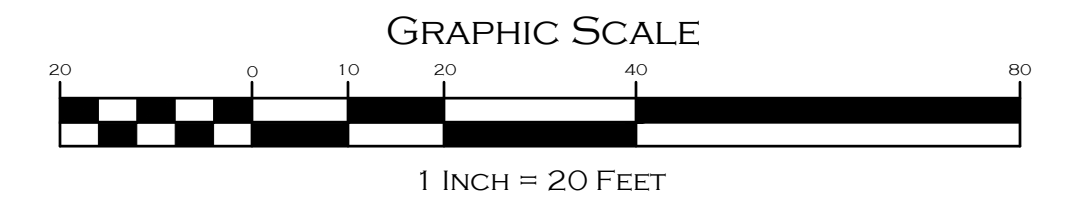
SOIL EVALUATIONS:

| Ground Water & Ledge Depth table | | | | | | |
|----------------------------------|------------|---------------|-----------|------------|-------------|-------------|
| Test Pit | SHWT Depth | Exist. Ground | FTM Depth | SHWT Elev. | Ledge Depth | Ledge Elev. |
| 1 | 66" | 39.7 | 7.0' | 34.2 | 8'+ | 31.7 |
| 2 | 78" | 40.5 | 6.0' | 34.0 | 7'+ | 33.5 |
| 3 | 84" | 40.8 | 7.3' | 33.8 | 9'+ | 31.8 |

- UTILITY NOTES:**
- LOCATIONS, MATERIALS & SIZES OF EXISTING UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY ALL INFORMATION WITH THE APPROPRIATE UTILITY AUTHORITY AND DIG SAFE PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
 - EXPLORATORY TEST PITS SHALL BE EXCAVATED TO CONFIRM THE LOCATION, SIZE & DEPTH AT ANY CONNECTION OR CRITICAL UTILITY AREA, AS REQUIRED.
 - EXISTING UTILITY SERVICES TO THE BUILDINGS SHALL BE UTILIZED WHERE POSSIBLE.
 - NO IMPROVEMENTS TO WASTEWATER, WATER, ELECTRIC, COMMUNICATIONS OR TELECOMMUNICATIONS ARE PROPOSED FOR THIS PROJECT

- DRAINAGE & GRADING NOTES:**
- CATCH BASINS SHALL BE 4' I.D. PRECAST CONC. WITH 4" SUMP RI STD. 4.4.0 WITH FRAME & GRATES RI STD. 6.3.2
 - FRAME & GRATES SHALL BE SET 2" BELOW DESIGN GRADE UNTIL FINAL PAVEMENT COURSE IS TO BE INSTALLED. AT FINAL PAVING, RAISE FRAME AND GRATE TO DESIGN GRADE.
 - DRAINAGE PIPING SHALL BE HDPE ADS-N-12 ST (SOIL TIGHT) OR SDR-35 PVC.
 - ALL CATCH BASINS, DRAINAGE INLETS AND OUTLETS SHALL HAVE STAKED STRAW BALE OR SILT SOCK PERIMETER EROSION CHECKS WHICH SHALL BE MAINTAINED AND REPLACED AS REQUIRED UNTIL THE SITE IS FULLY STABILIZED.
 - SEDIMENT FOREBAYS AND BIO-RETENTION AREAS SHALL BE CONSTRUCTION STAKED BY THE PROJECT SURVEYOR TO INSURE ACCURATE LOCATION AND ELEVATION. THE PROJECT SURVEYOR SHALL AS-BUILT SURVEY THESE AREAS PRIOR TO SEEDING AND PROVIDE AN AS-BUILT PLAN TO S.F.M. ENGINEERING. ANY DISCREPANCIES SHALL BE CORRECTED PRIOR TO SEEDING.
 - TO THE EXTENT POSSIBLE, HEALTHY MATURE TREES AND UNDERSTORY VEGETATION ON THE SITE PERIMETER BANK SHALL BE PROTECTED AND PRESERVED. SELECTIVE PRUNING TO FACILITATE SITE WORK IS ALLOWED.
 - ELEVATIONS AT CURB ARE BOTTOM OF CURB UNLESS NOTED T.C. (TOP OF CURB) CURB REVEALS ARE 6" TYPICAL
 - GRADING AT ALL SIDEWALK RAMPS SHALL COMPLY WITH RI STD. 4.3.3.0 OR 4.3.3.1 ALL WALKS SHALL HAVE A MAXIMUM SLOPE OF 5%.
 - ALL CONSTRUCTION TRAFFIC SHALL ENTER VIA THE EXISTING DRIVEWAY FROM KINGSTOWN ROAD AND EXIT VIA THE SOUTH DRIVEWAY. A RIP-RAP CONSTRUCTION EXIT SHALL BE MAINTAINED UNTIL THE SITE IS READY FOR PAVING. SEE DETAIL ON SHEET C6.
 - STOCKPILE AREAS FOR SOILS & OTHER ERODIBLE MATERIALS SHALL BE SURROUNDED BY A CONTINUOUS LINE OF EROSION CONTROLS.

NOT FOR CONSTRUCTION



GRADING, DRAINAGE & UTILITY PLAN

"GREENHOUSE DISPENSARY"
 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789
 ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
 225 MAIN STREET, WAKEFIELD, RI 02879

PAUL D. CARLSON
 No. 7142
 REGISTERED PROFESSIONAL ENGINEER CIVIL
 PROFESSIONAL SEAL

JOB # 25-045 SCALE: 1" = 20' DRAWN BY: LJJ DATE: OCTOBER 7, 2025
 REVISED:

INSITE Engineering Services, LLC
 PROFESSIONAL ENGINEERS | LAND SURVEYORS
 Precision. Clarity. Certainty.

InSite Professional Complex, Suite 1
 1539 Fall River Avenue, Seekonk, MA 02771
 Phone: (508) 336-4500 Fax: (508) 336-4558
 Web Address: InSiteEngineers.com

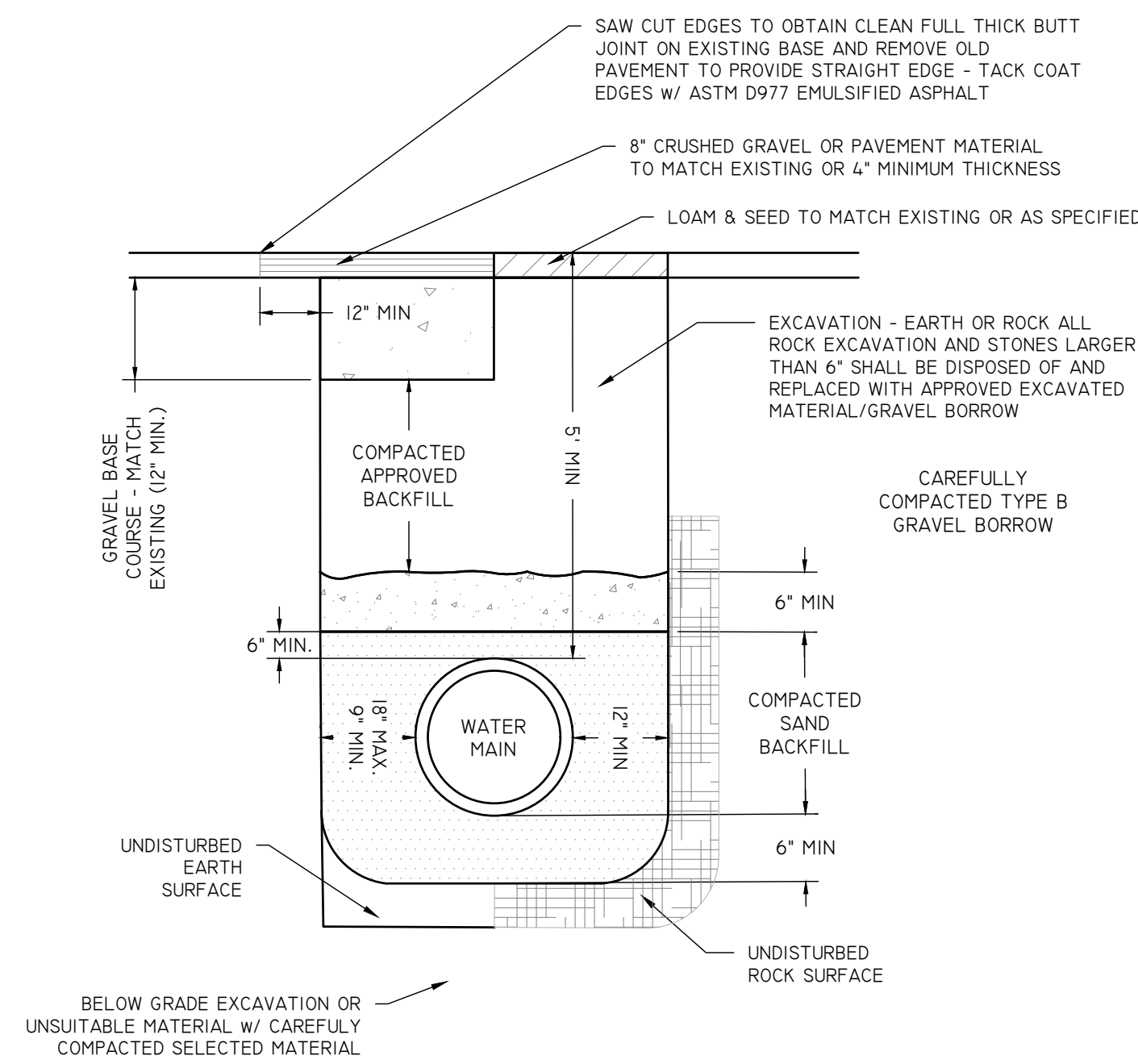
SHEET 6 OF 10

DRAINAGE BASIN AREAS:

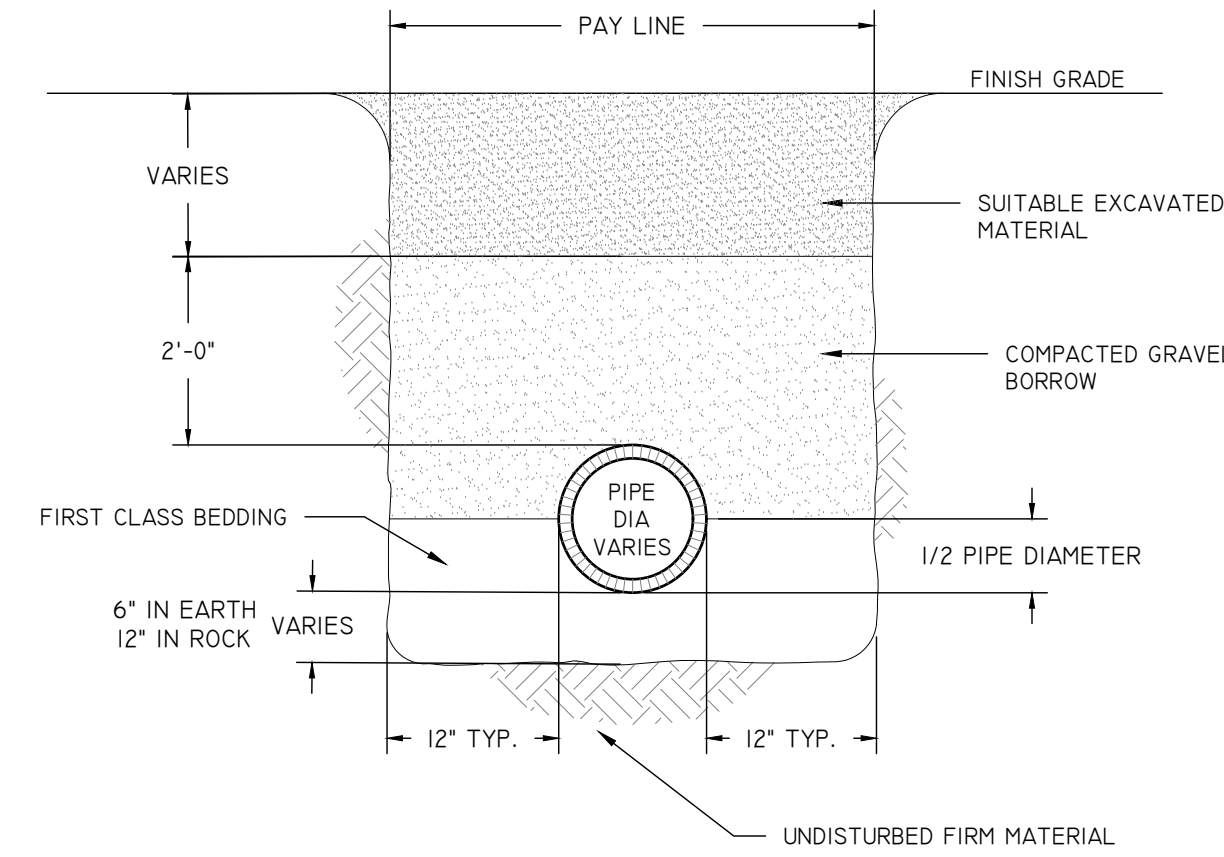
| Bio-Retention Area #1 | | | |
|------------------------|-----------|----------------|-----------|
| Sediment Forebay Areas | | Bio-Ret. Areas | |
| Elevation | Area (SF) | Elevation | Area (SF) |
| 36.5 | 12 | ~ | ~ |
| 38 | 145 | 38 | 320 |
| 38.67 | 265 | 38.67 | 545 |
| 39 | 350 | 39 | 650 |
| 39.5 | 455 | 39.5 | 815 |

| Bio-Retention Area #2 | | | |
|------------------------|-----------|----------------|-----------|
| Sediment Forebay Areas | | Bio-Ret. Areas | |
| Elevation | Area (SF) | Elevation | Area (SF) |
| 37 | 7 | ~ | ~ |
| 37.5 | 32 | 37.5 | 320 |
| 38 | 65 | 38 | 560 |
| 38.5 | 105 | 38.5 | 800 |
| 39 | 152 | 39 | 1040 |

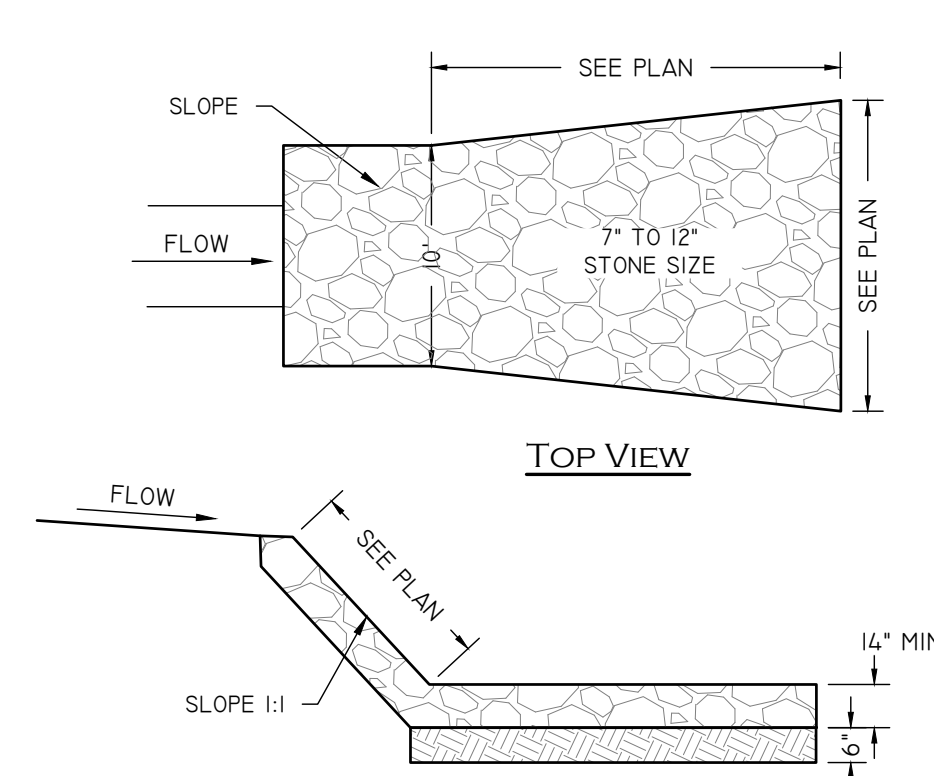
A.P. 57-1 LOT 91
 N/F
 ROBERT S. GILARDETTI
 REVOC. TRUST
 DENTIST



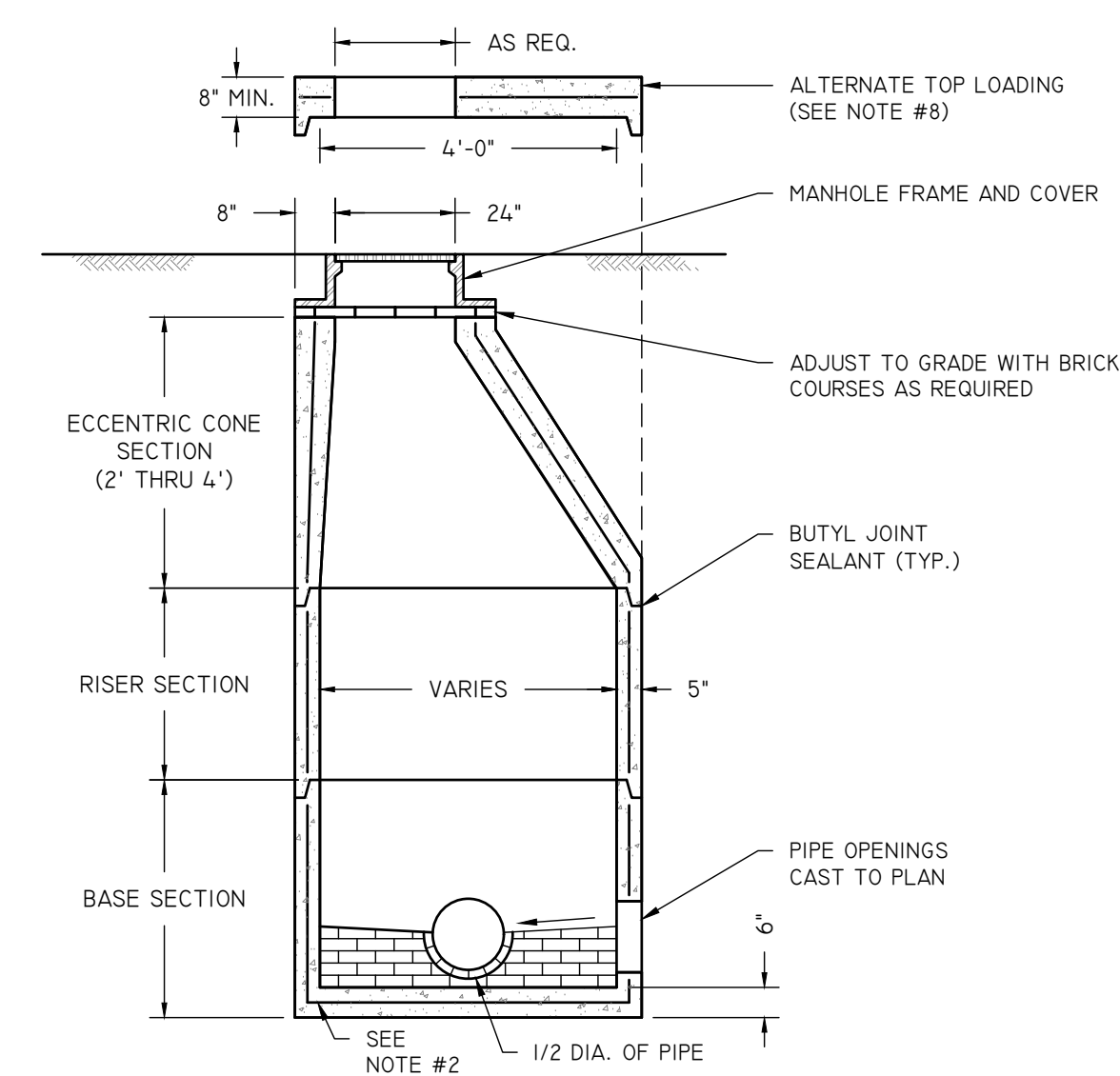
TYPICAL WATER MAIN / GAS MAIN TRENCH DETAIL
NOT TO SCALE



SANITARY SEWER TRENCH DETAIL
NOT TO SCALE

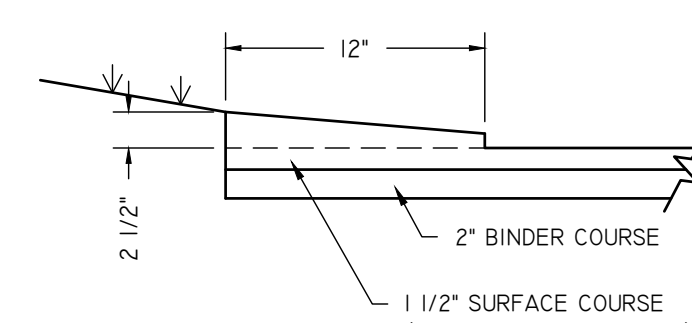


RIP RAP DETAIL
NOT TO SCALE

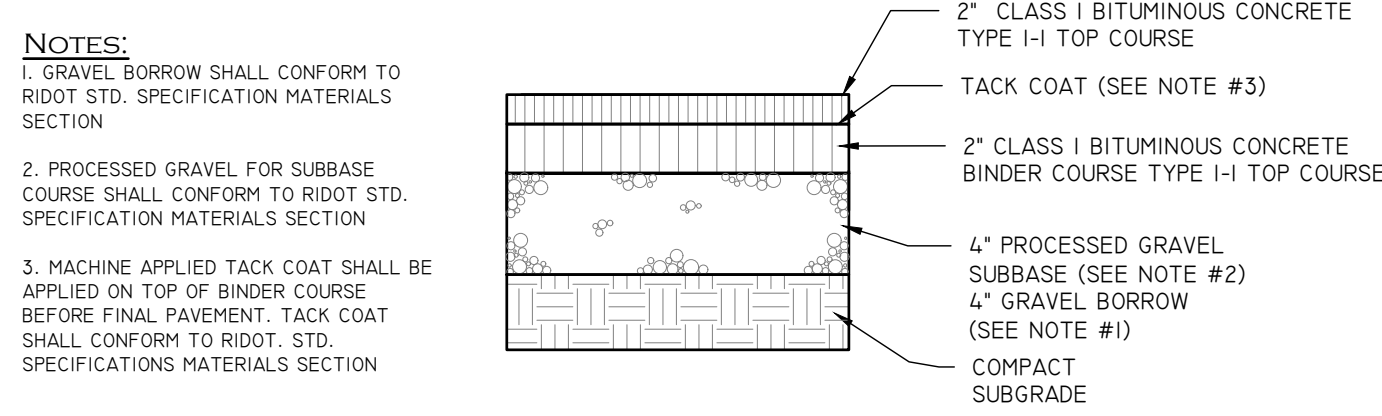


- NOTES:**
1. ALL REINFORCING STEEL MUST CONFORM TO THE LATEST ASTM A185 AND/OR A615 GRADE 60, SPECIFICATION 0.12 SQ. IN/LINEAL FT.
 2. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MIN. OF 0.12 SQ. IN/LINEAL FT. (BOTH WAYS)
 3. MANHOLE SPECS. CONFORM TO THE LATEST ASTM C478 SPEC. FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS" WITH THE EXCEPTION OF PORTLAND CEMENT CONCRETE MIX DESIGN AND MATERIALS REQUIREMENTS, WHICH SHALL CONFORM WITH SECTION 900 OF THE M.H.D. STANDARD SPECS. ALL PORTLAND CEMENT CONCRETE SHALL BE CLASS 3000 PSI 3/4\"/>
 - 4. MORTAR SHALL CONFORM TO SECTION M4.02.15 OF THE M.H.D. STANDARD SPECS. FOR HIGHWAYS AND BRIDGES.
 - 5. ONE POUR MONOLITHIC BASE SECTION.
 - 6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS, CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - 7. RED CLAY BRICK SHALL CONFORM WITH SECTION M4.05.2 CLAY BRICK OF M.H.D. STANDARD SPECS. FOR HIGHWAY AND BRIDGES.
 - 8. ALTERNATE SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-25 LOADING.

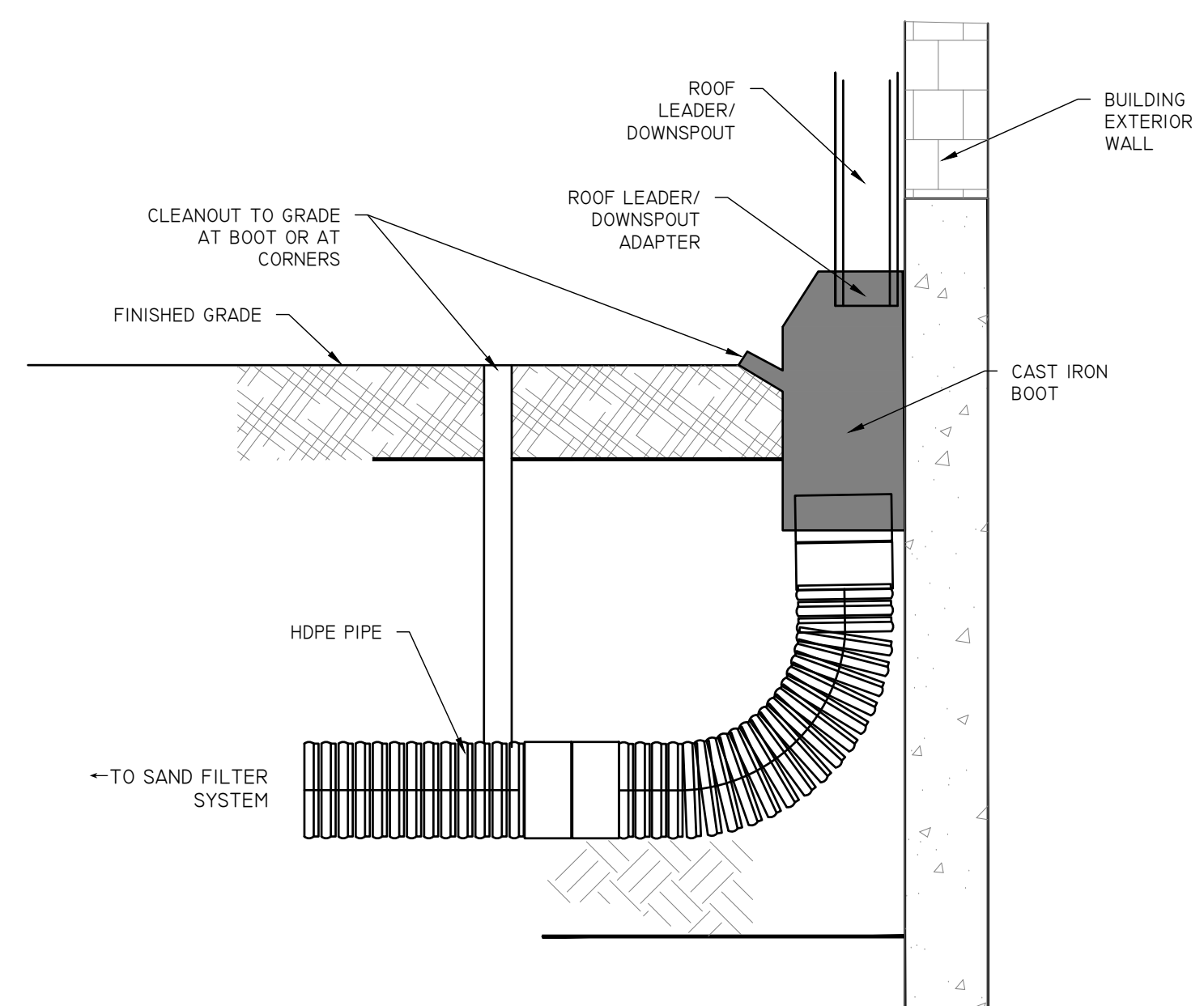
PRECAST CONCRETE MANHOLE - 4\", 5\", 6\"/>



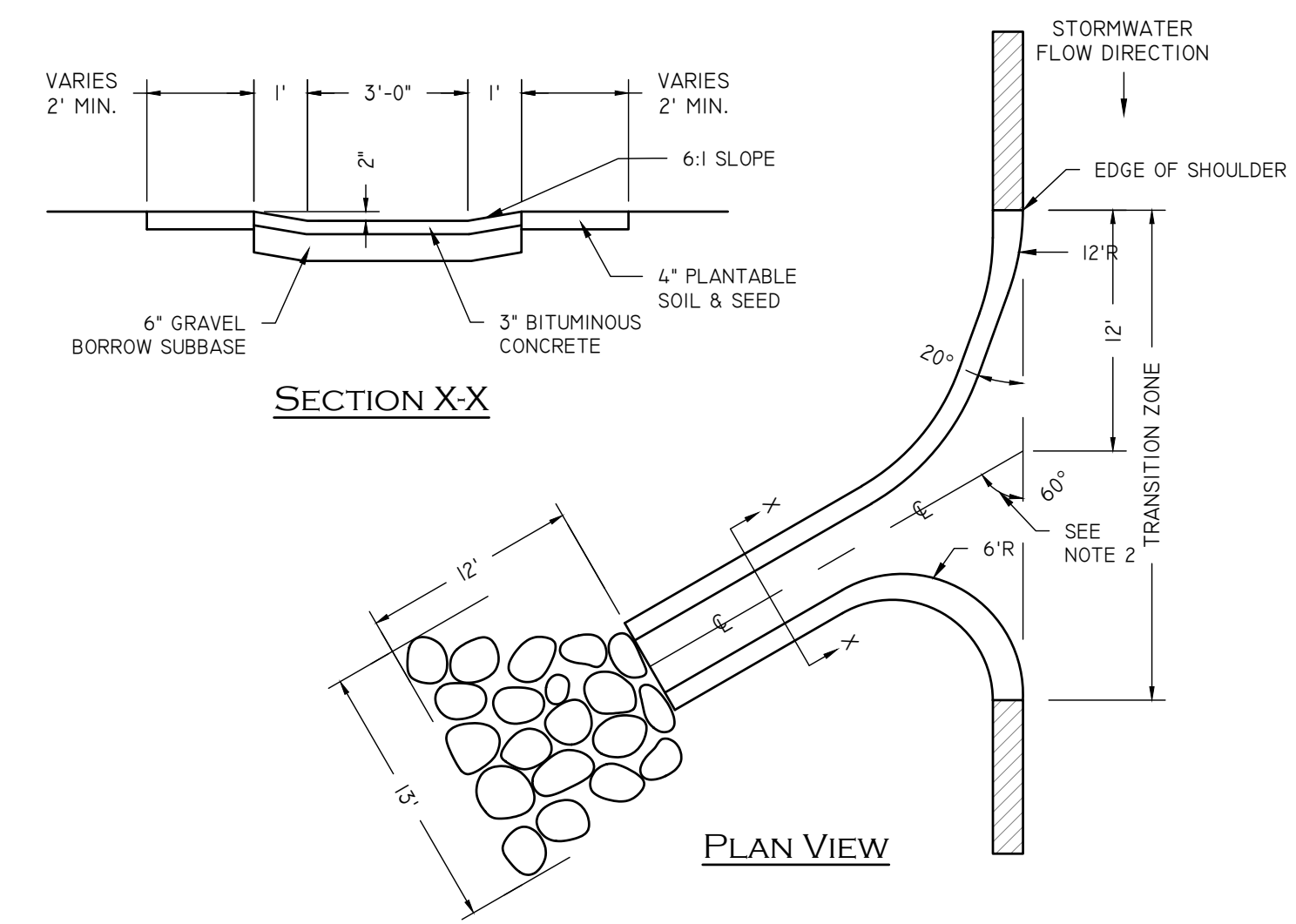
CAPE COD BERM DETAIL
NOT TO SCALE



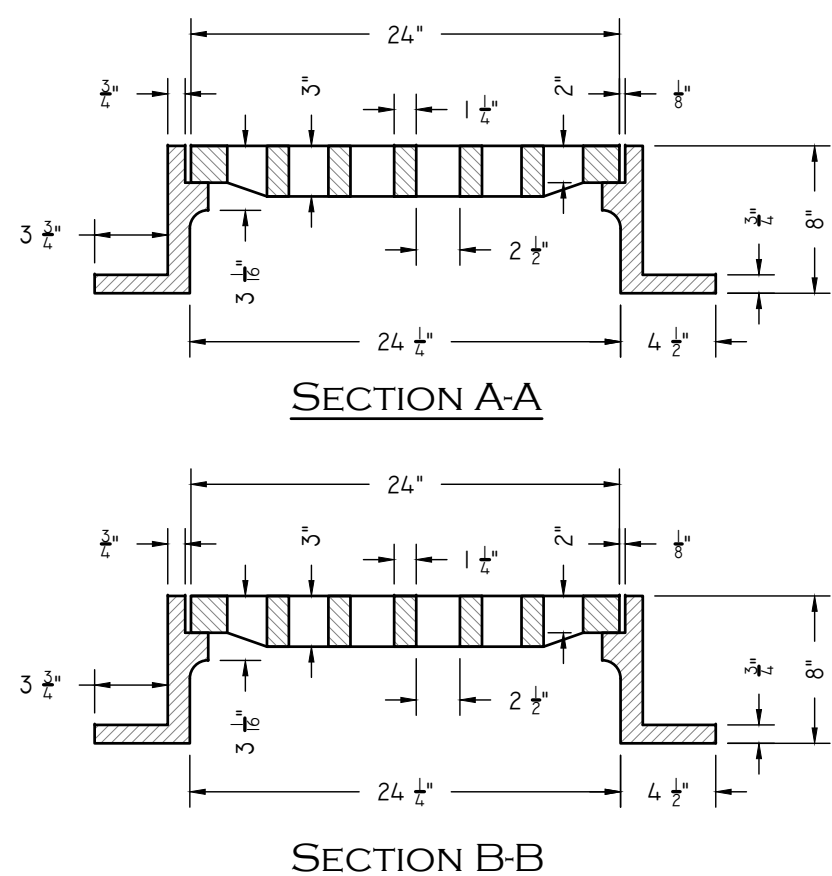
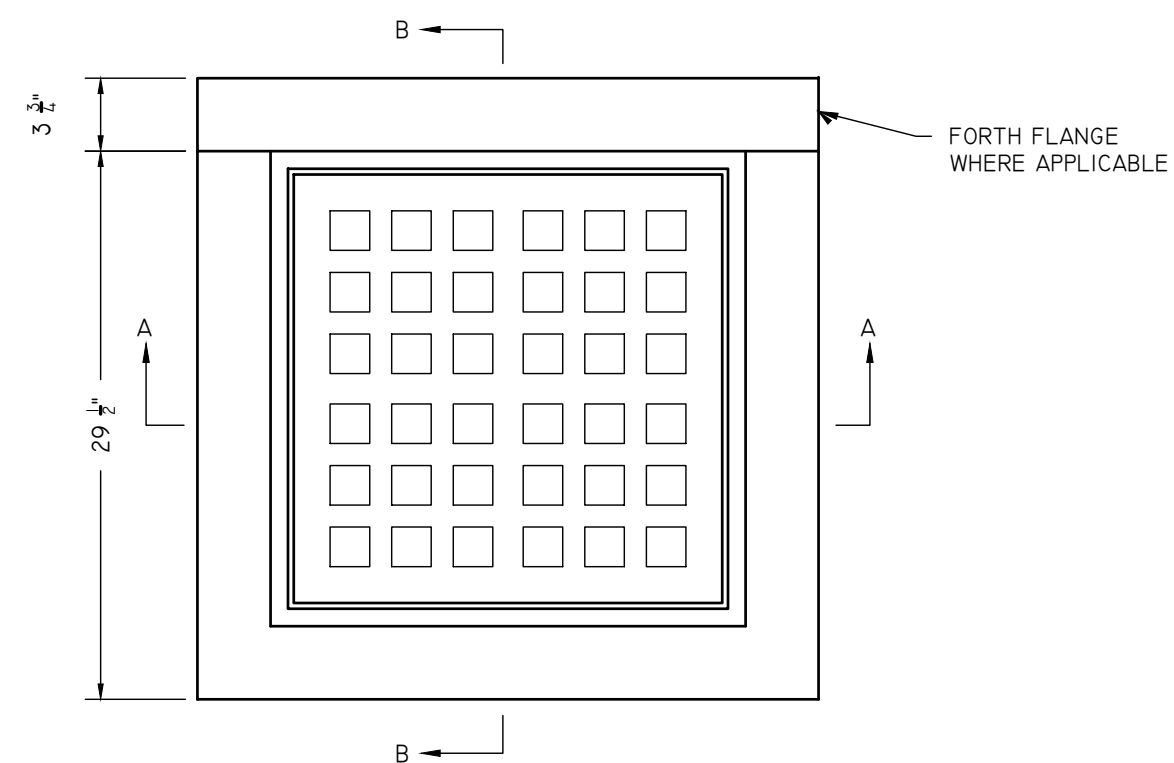
BITUMINOUS CONCRETE PAVEMENT DETAIL
NOT TO SCALE



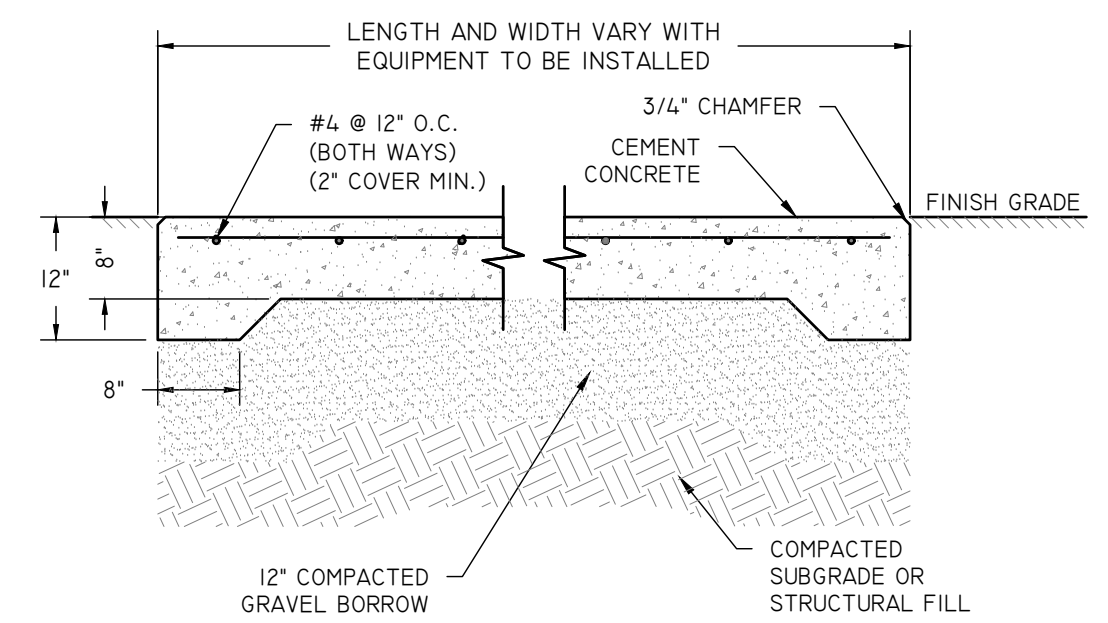
ROOF LEADER DRAINAGE DETAIL
NOT TO SCALE



PAVED WATERWAY INSTALLATION DETAIL
NOT TO SCALE



SQUARE CATCH BASIN FRAME & GRATE
NOT TO SCALE



- NOTES:**
1. DIMENSIONS VARY
 2. SURFACE OF PAD TO MATCH ADJACENT BITUMINOUS SURFACE.
 3. CEMENT CONCRETE SHALL ATTAIN A COMPRESSIVE STRENGTH OF 3,000 P.S.I. (28 DAYS)
 4. FOR LOCATION OF PADS SEE LAYOUT PLAN.
 5. FILLING OF THE SITE SHOULD BE ACCOMPLISHED WITH STRUCTURAL FILL

CEMENT CONCRETE PAD
NOT TO SCALE

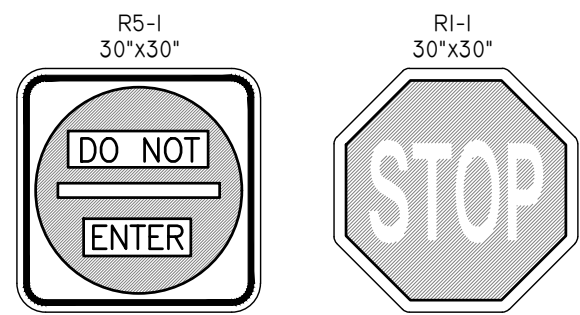
NOT FOR CONSTRUCTION

DETAIL SHEET (1 OF 3)

| | | | |
|---|---|-------------------------|---------------------------------|
| | "GREENHOUSE DISPENSARY" | | |
| | 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789 ASSESSORS PLAT 57-2 LOT 76 | | |
| APPLICANT: GREENHOUSE DISPENSARY INC. 225 MAIN STREET, WAKEFIELD, RI 02879 | | | |
| Job # 25-045 | SCALE: 1" = 20' | DRAWN BY: LJG | DATE: OCTOBER 7, 2025 |
| REVISED: | | | |

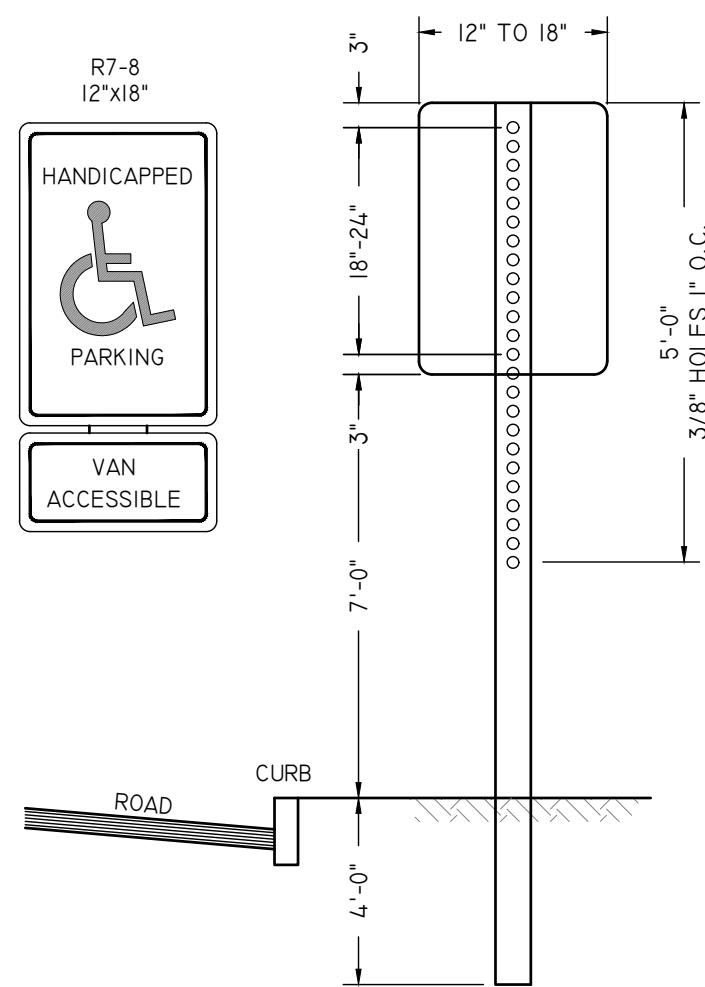
| | | | |
|--|--|--|--|
| | InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InsiteEngineers.com | | |
| | SHEET 8 OF 10 | | |

I:\25-045 711 Kingstown Road - South Kingstown - Terrain\CADD\25-045 - ENR 8/8/25 - 002 - Update Existing.dwg, 10/7/2025, 1:46:40 PM



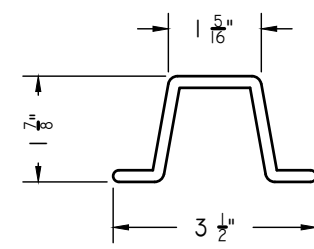
SIGN MOUNTING NOTES:
 1. ALL LAG SCREWS, BOLTS AND WASHERS SHALL BE GALVANIZED 5/16"x2 1/2" LONG UNLESS OTHERWISE NOTED.
 2. WASHERS SHALL BE 0.07" THICK.
 3. ALL SIGN COLORS, RADII AND BORDERS AS SPECIFIED IN MANUAL ON "UNIFORM TRAFFIC CONTROL DEVICES" OR AS SPECIFIED BY MHD.

HANDICAP SIGN NOTES:
 1. ALL HANDICAP PARKING AND SIGNAGE SHALL BE IN CONFORMANCE WITH THE RULES & REGULATIONS OF THE ARCHITECTURAL BARRIERS BOARD.
 2. SIGNS SHALL BE LOCATED SO THEY CANNOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE.
 3. FOR HANDICAPPED VAN SPACE USE SIGN AS DETAILED.
 4. FOR HANDICAPPED SPACE FOR AUTOMOBILES USE ONLY HANDICAPPED PARKING SIGN.

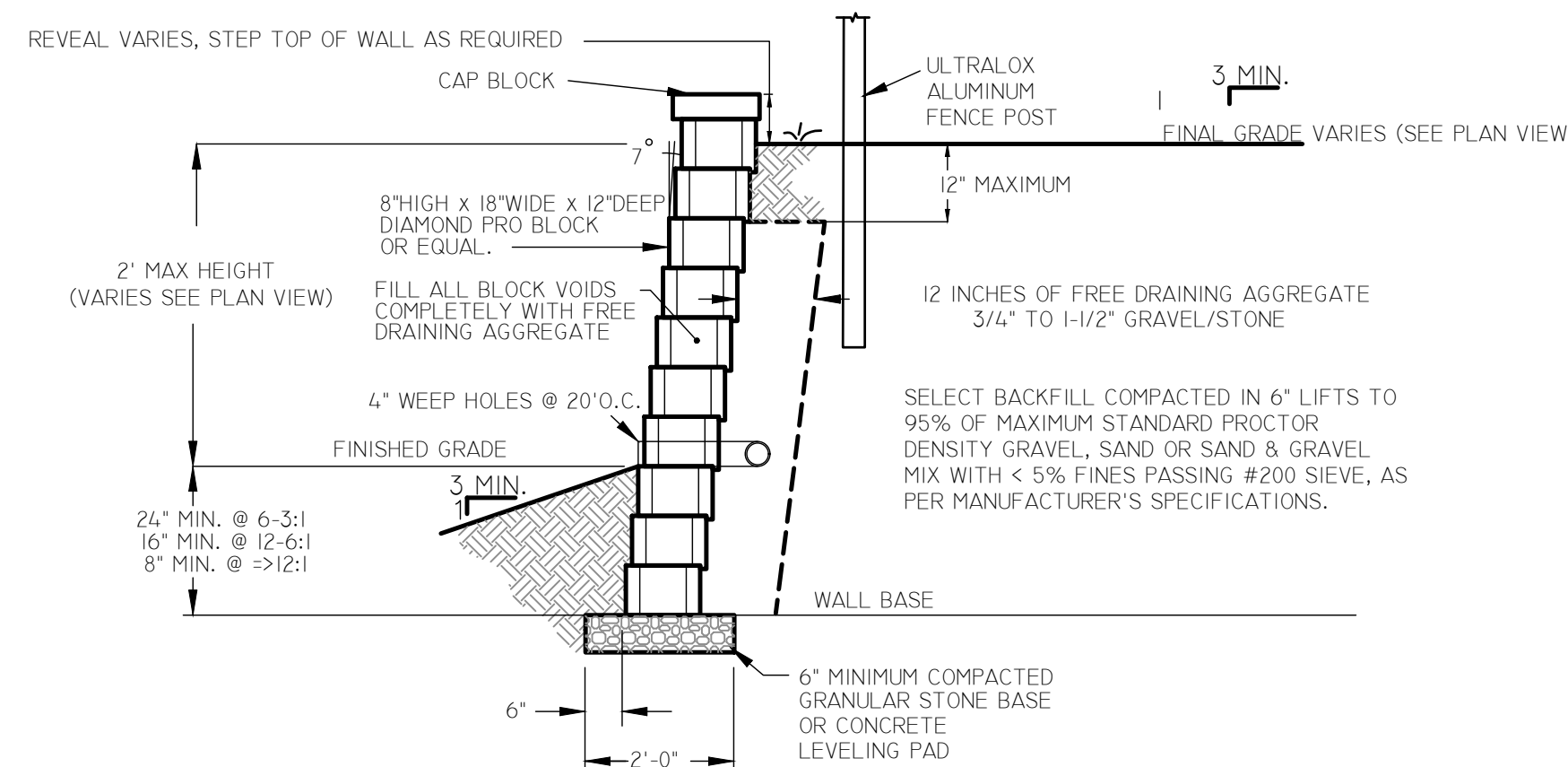


SIGN MOUNTING
NOT TO SCALE

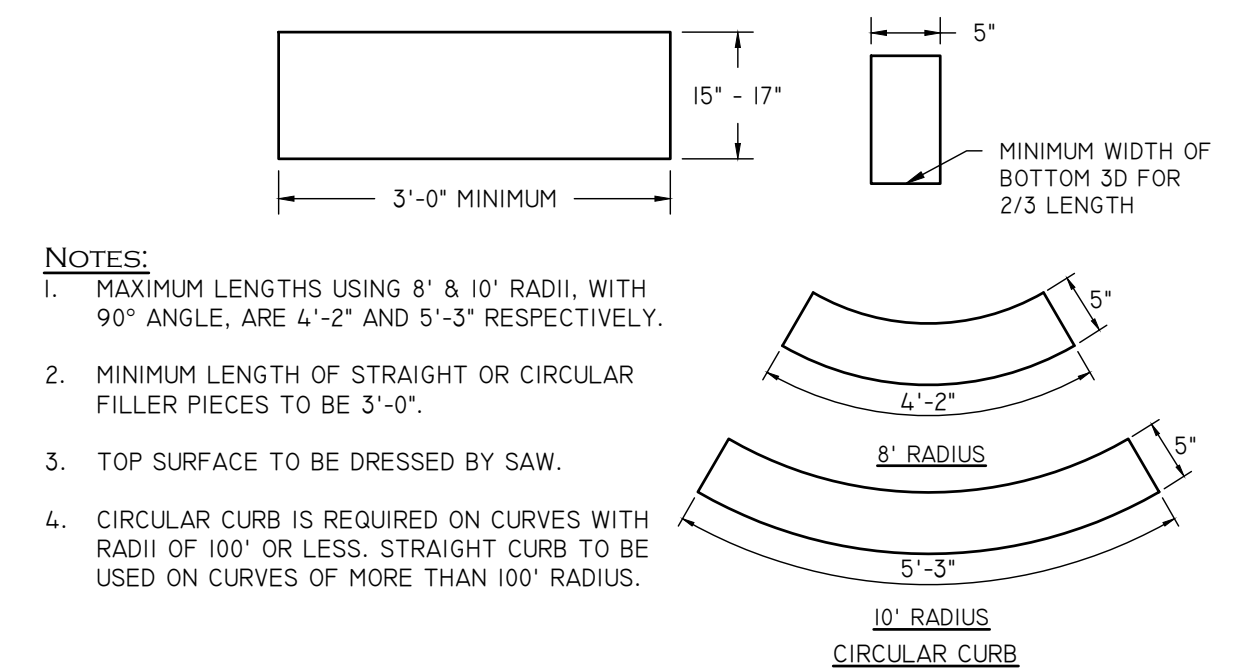
2-5/16" x 2-1/2" GALVANIZED BOLTS AND 0.070 WASHERS.
 STEEL SPECIFICATION - A.S.T.M. DESIGNATION A499-64 ZINC (HOT GALVANIZED) SPECIFIED BY A.S.T.M. A 123.
 WT./FT. 3.00#
 MOM. 1x-x 0.484 IN²
 SEC MOD x-x 0.569 IN²
 MON. 1y-y 0.886 IN²
 SEC MOD 1y-y 0.506 IN²



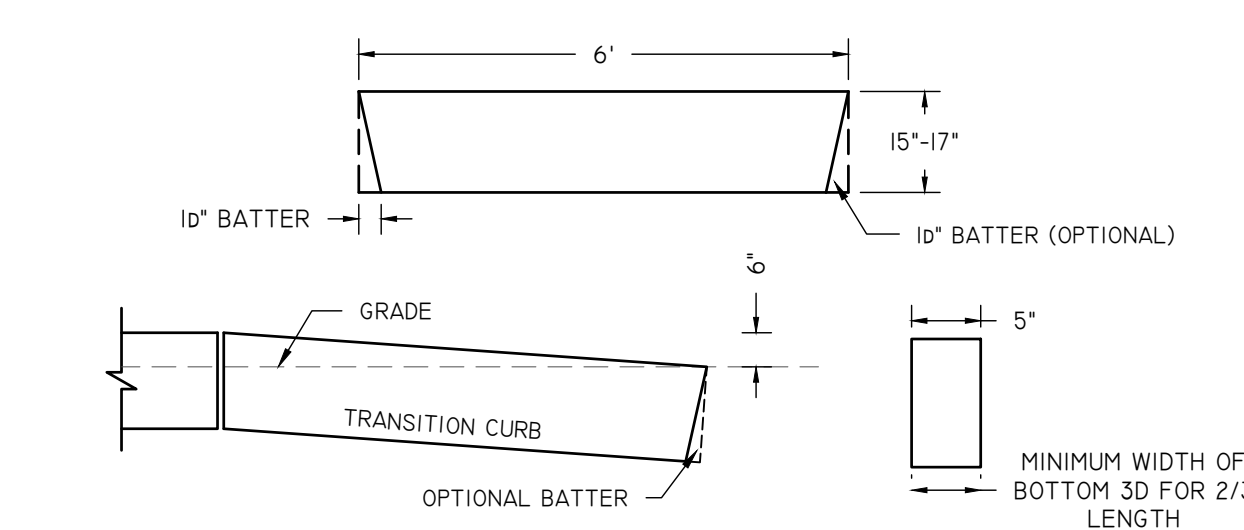
PARKING SIGNS SHALL BE SET AT AN ANGLE OF NOT LESS THAN 30° NOR MORE THAN 45° A LINE PARALLEL TO THE FLOW OF TRAFFIC.



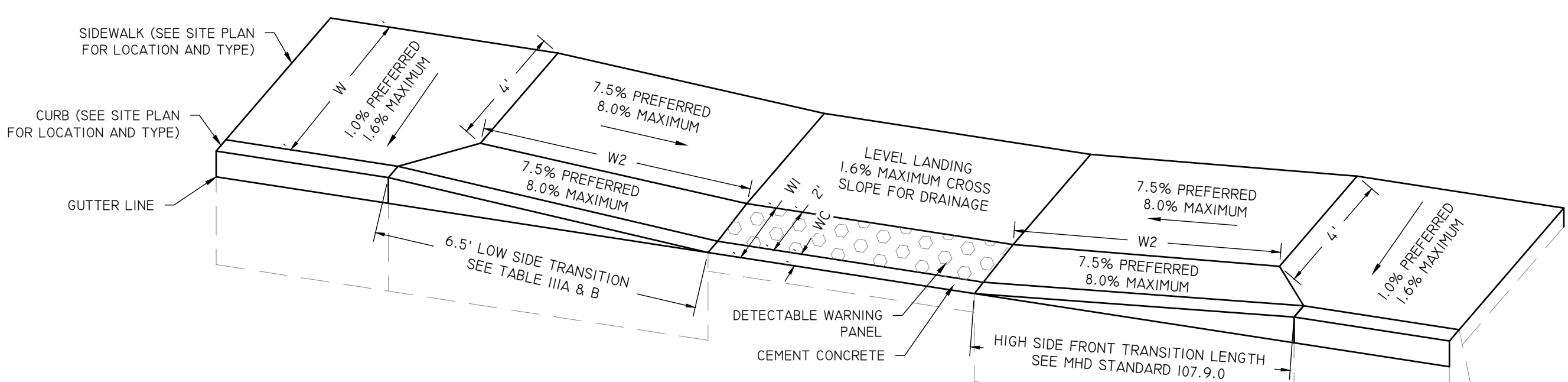
SEGMENTED BLOCK RETAINING WALL
(NOT TO SCALE)



PRECAST CONCRETE CURB
NOT TO SCALE



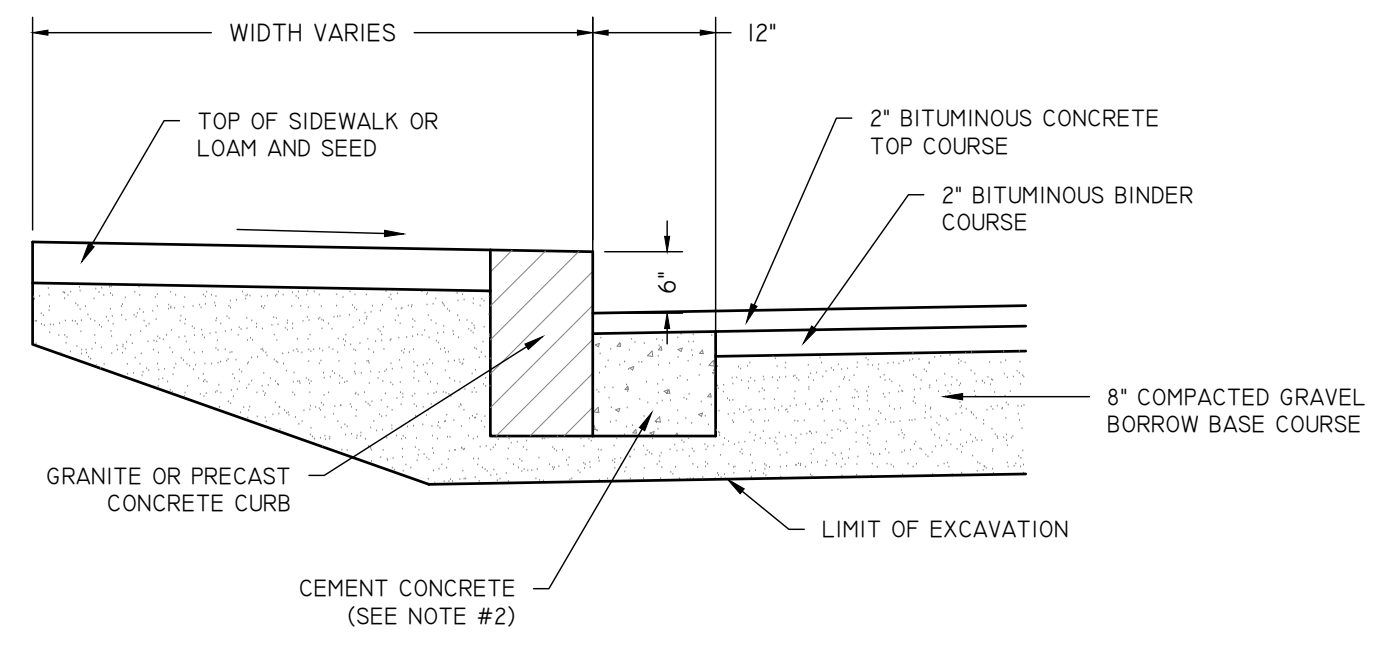
6' PRECAST TRANSITION CURB
NOT TO SCALE



WHEELCHAIR RAMP DETAIL
NOT TO SCALE

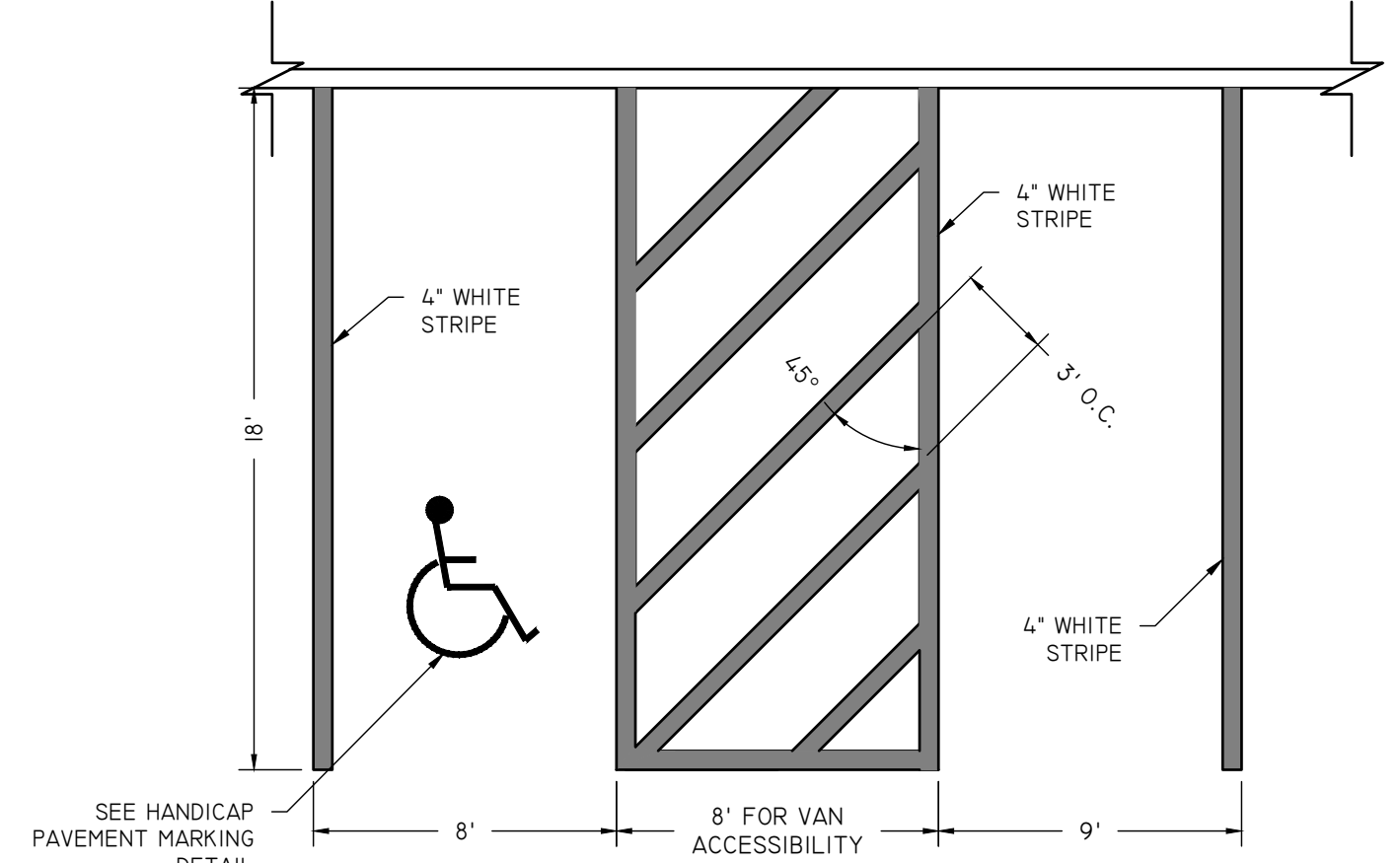
NOTES:
 1. WHERE THE SIDEWALK WIDTH IS 7.5' OR GREATER FOR BITUMINOUS CONCRETE AND 8.0' OR GREATER FOR CEMENT CONCRETE AND BRICK, THE BACK TRANSITION LENGTHS (L_{BP}, L_{BL}) SHALL EQUAL ZERO (0). THEREFORE THE DIAGONAL SCORE LINE SHALL MEET THE BACK CORNERS OF THE WHEELCHAIR RAMP. IT SHOULD BE NOTED THAT THE RAMP SLOPE SHALL BE LESS THAN 11.0' FOR BITUMINOUS CONCRETE AND GREATER THAN 8.0' TO LESS THAN 11.0' FOR CEMENT CONCRETE AND BRICK.
 2. TRANSITION CURB SHALL BE PART OF THE HANDICAP RAMP WORK.

LEGEND:
 W = SIDEWALK WIDTH
 W1 = PERPENDICULAR RAMP LENGTH
 W2 = PARALLEL RAMP LENGTH
 WC = CURB WIDTH

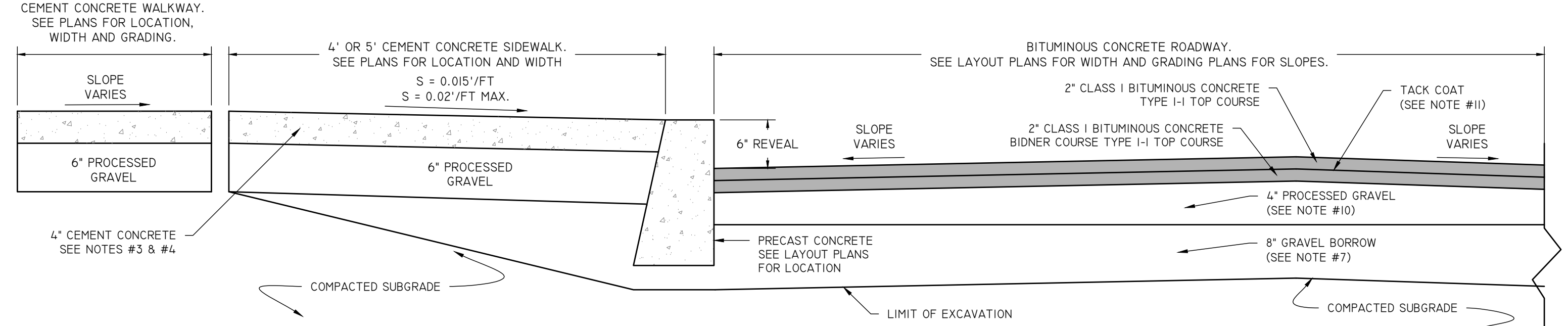


NOTES:
 1. SAW CUT 12" FROM CURB LINE AND REMOVE BINDER, BASE AND STONE. REPLACE WITH CEMENT CONCRETE.
 2. CEMENT CONCRETE THAT IS ACCEPTABLE TO THE DEPT. UNDER SECTION M4 OF THE 1995 STANDARD SPECIFICATIONS; ALL TEST REQUIREMENTS ARE WAIVED. BITUMINOUS CONCRETE IS NOT TO BE USED AS A SUBSTITUTE.
 3. USE CEMENT CONCRETE ONLY WHEN BITUMINOUS BINDER COURSE HAS BEEN PLACED BEFORE EITHER TYPE OF VERTICAL CURB HAS BEEN INSTALLED.

METHOD OF SETTING VERTICAL CURB
NOT TO SCALE

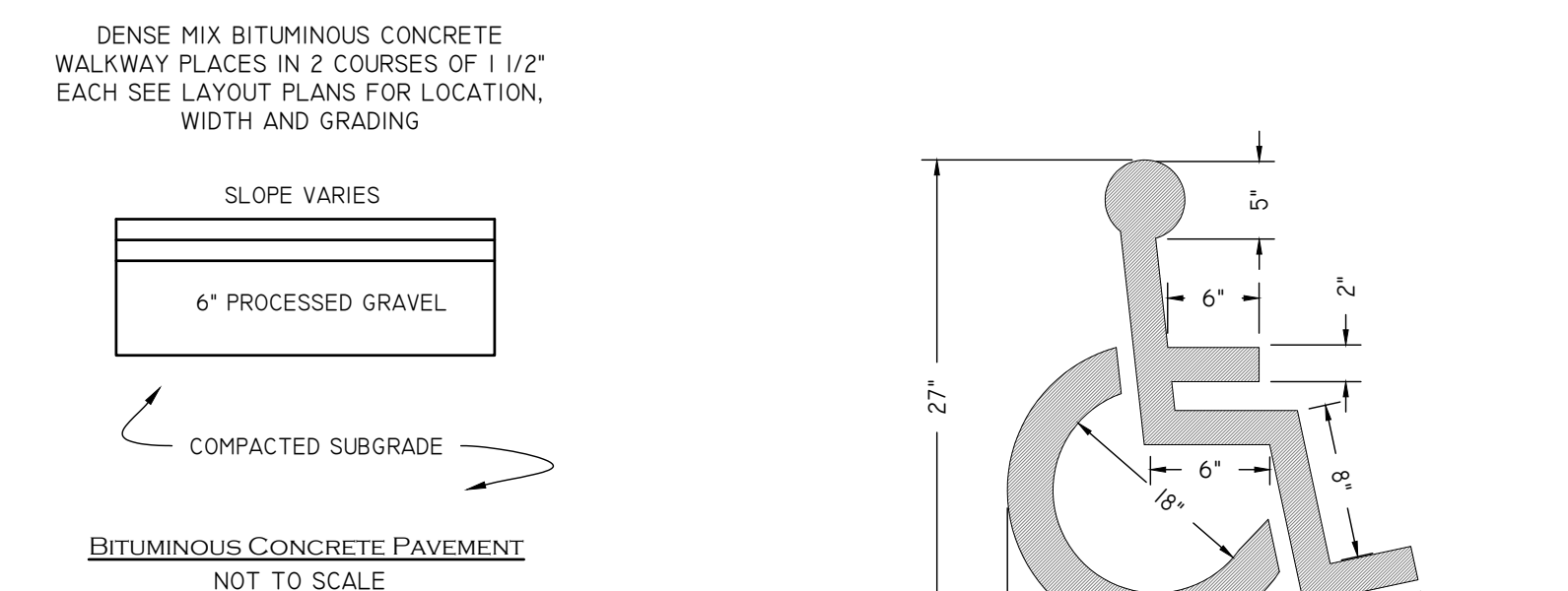


HANDICAP PARKING AND STANDARD STALLS
NOT TO SCALE

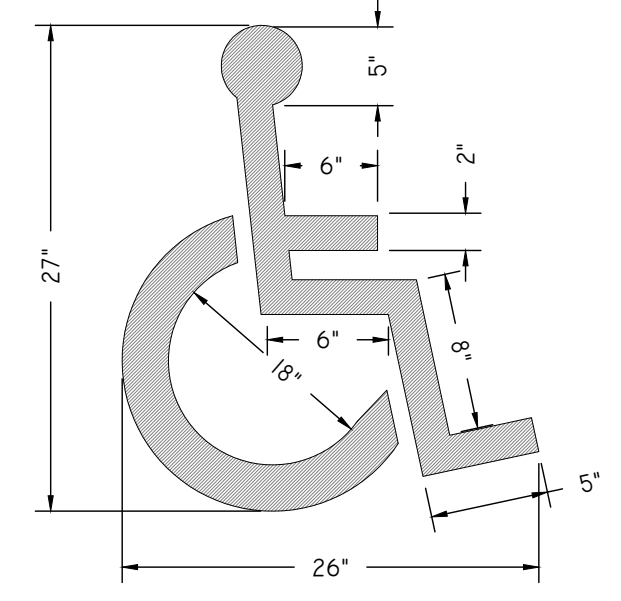


PAVEMENT, SIDEWALK AND WALKWAY DETAIL
NOT TO SCALE

NOTES:
 1. CEMENT CONCRETE FOR SIDEWALK SHALL ATTAIN COMPRESSIVE STRENGTH OF 4000 PSI (28 DAYS) WITH AIR ENTRAINMENT OF 7%.
 2. CONSTRUCTION JOINTS WITH 1/4" PREMOLDED EXPANSION JOINT FILLER SHALL BE PLACED EVERY 20 FEET.
 3. IF SIDEWALK IS TO ABUT A SMOOTH WALL, FOUNDATION OR STATIONARY OBJECT, PLACE THE EXPANSION JOINT FILLER FULL DEPTH, BETWEEN SIDEWALK CONCRETE AND SURFACE OF WALL, FOUNDATION OR STATIONARY OBJECT.
 4. IF SIDEWALK IS TO ABUT AN IRREGULAR WALL, FOUNDATION OR STATIONARY OBJECT, PLACE THE EXPANSION JOINT FILLER FULL DEPTH, FOUR (4) INCHES FROM IRREGULAR SURFACE, AND FOUR CONCRETE BETWEEN THE ABOVE MENTIONED SURFACES AND THE EXPANSION JOINT MATERIAL.
 5. THE FORCING OF PREMOLDED EXPANSION JOINT FILLER INTO FRESHLY PLACED CONCRETE WILL NOT BE ALLOWED.



BITUMINOUS CONCRETE PAVEMENT
NOT TO SCALE



HANDICAP PAVEMENT MARKING
NOT TO SCALE

NOT FOR CONSTRUCTION

DETAIL SHEET (2 OF 3)

"GREENHOUSE DISPENSARY"
 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02879
 ASSESSORS PLAT 57-2 LOT 76

APPLICANT: GREENHOUSE DISPENSARY INC.
 225 MAIN STREET, WAKEFIELD, RI 02879

PAUL D. CARLSON
 No. 7142
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

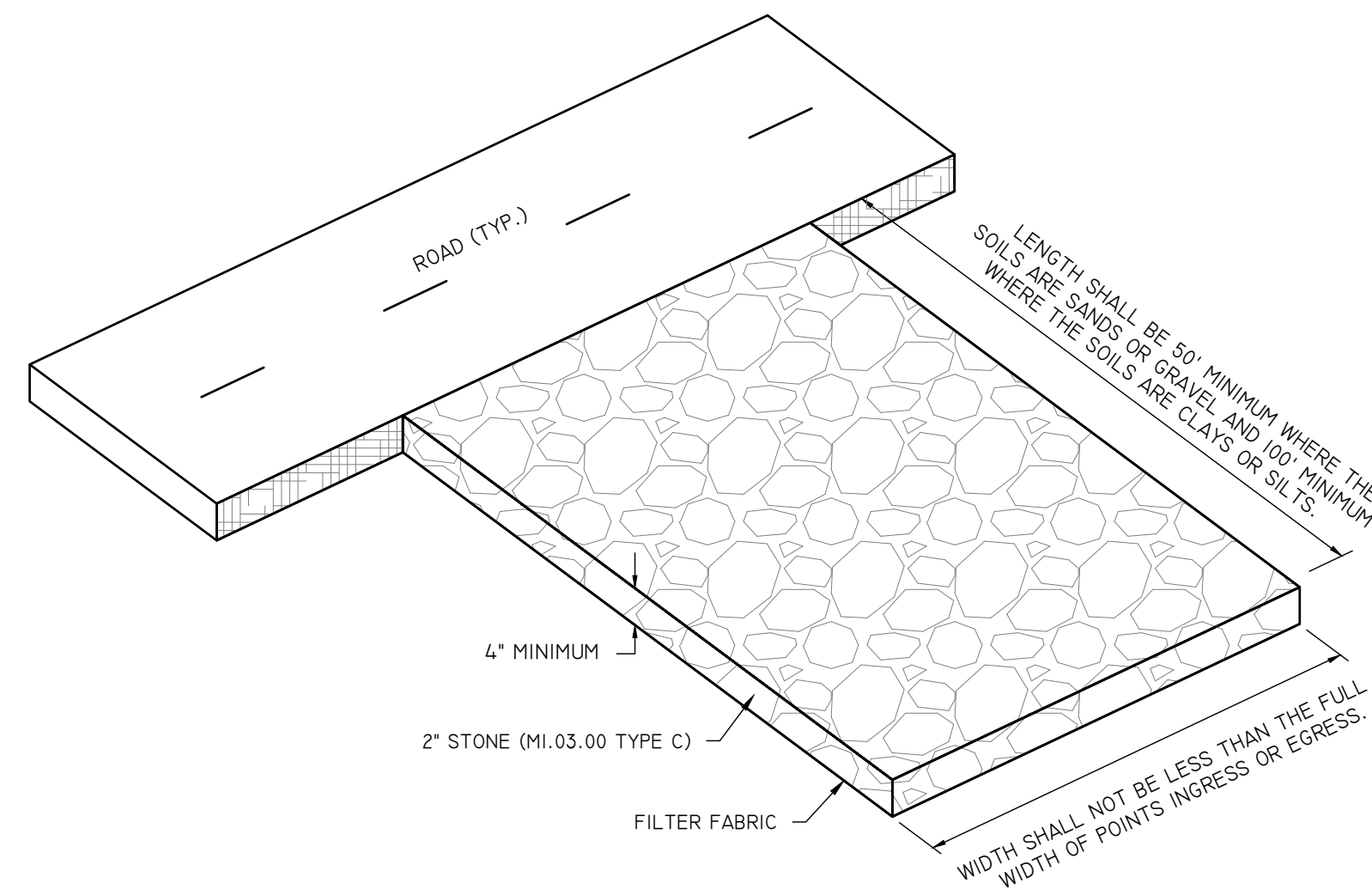
JOB # 25-045
 SCALE: 1" = 20'
 DRAWN BY: LJJ
 DATE: OCTOBER 7, 2025

REVISED:

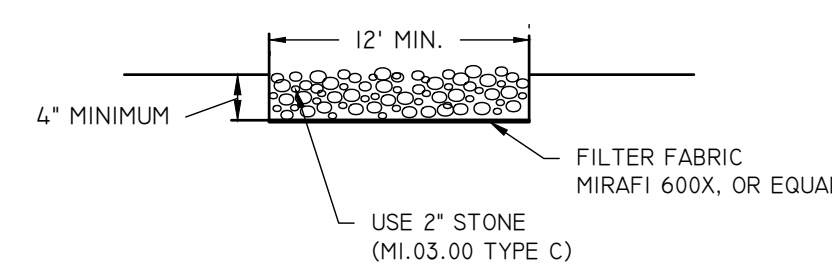
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SHEET 9 OF 10



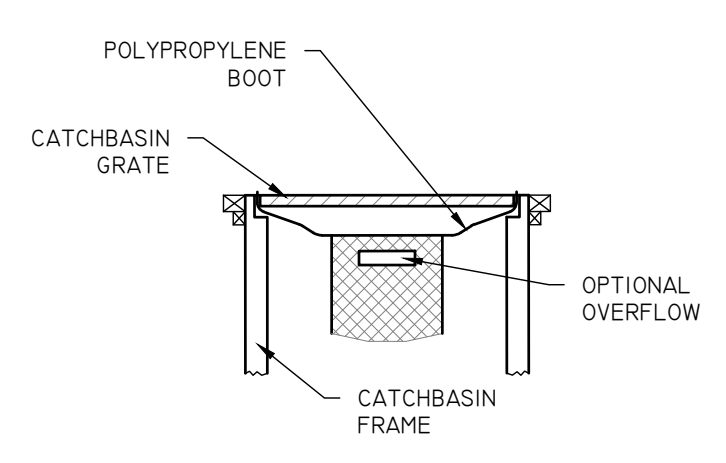
CONSTRUCTION ENTRANCE DETAIL
NOT TO SCALE



INSTALLATION:
THE AREA OF THE ENTRANCE SHOULD BE CLEARED OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL. THE STONE SHALL BE PLACED TO THE SPECIFIED DIMENSIONS, AS NOTED ABOVE.

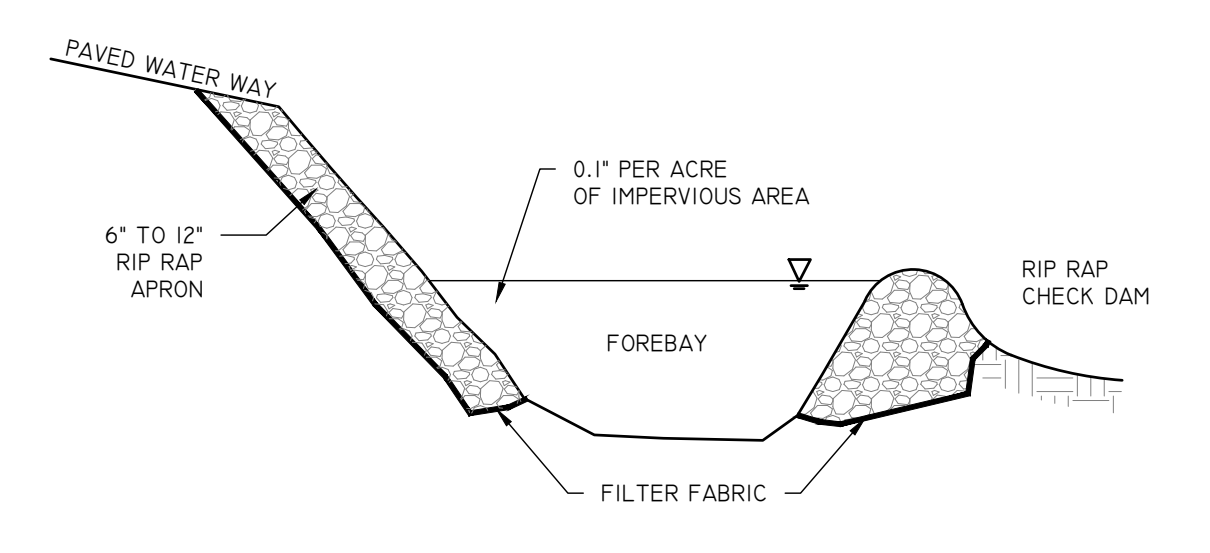
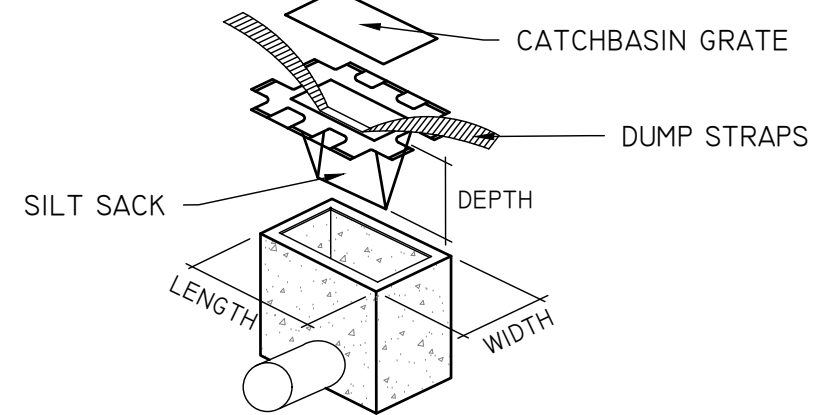
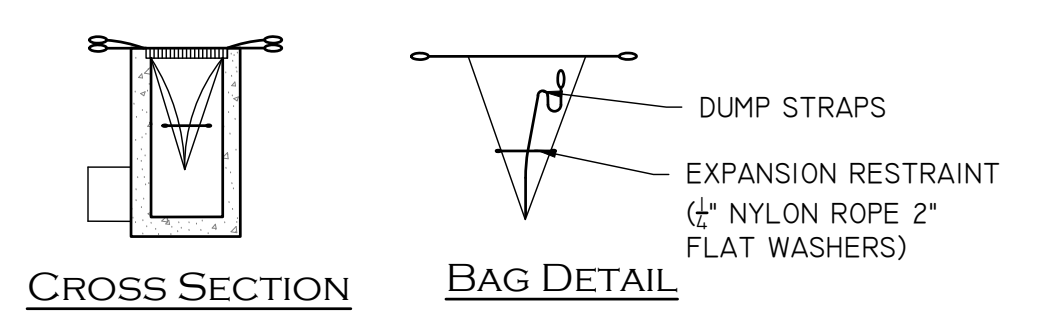
MAINTENANCE:
THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENTS ONTO PUBLIC RIGHT- OF-WAYS THIS WILL REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE, OR ADDITIONAL LENGTH, AS CONDITIONS DEMAND, AND REPAIR, AND / OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS MUST BE REMOVED IMMEDIATELY.

LOCATION:
SEE OVERALL SHEET FOR LOCATION OF CONSTRUCTION ENTRANCE.



NOTES:
1. SILTSAKS SHALL BE INSTALLED IN ALL CATCH BASINS UNTIL DRAINAGE AREA HAS BEEN FULLY STABILIZED.
2. MAINTENANCE SHALL OCCUR WHEN NECESSARY. SILT SACKS SHALL BE CLEANED ONCE THE BAG IS FILLED HALF WAY WITH DEBRIS. CONTRACTOR SHALL REMOVE SILT SACK AND PLACE NEW UNIT. DO NOT EMPTY SILT SACK CONTENTS INTO THE CATCHBASIN.

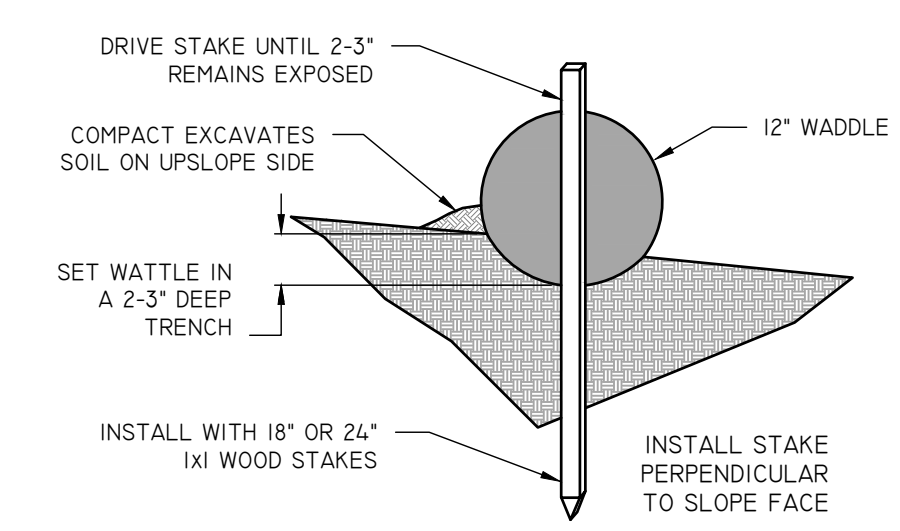
CATCH BASIN WITH SILT SACK INLET PROTECTION
NOT TO SCALE



SEDIMENT FOREBAY - SECTION
NOT TO SCALE

EROSION & SEDIMENTATION CONTROL:

- BEGIN AT THE LOCATION WHERE WATTLE IS TO BE INSTALLED BY EXCAVATING 2-3\"/>



STRAW WATTLE (OR SILT SOCK) DETAIL
NOT TO SCALE

NOT FOR
CONSTRUCTION

DETAIL SHEET (3 OF 3)

| | | | |
|--|---|--------------------------|------------------|
| | "GREENHOUSE DISPENSARY" 711 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI 02789 ASSESSORS PLAT 57-2 LOT 76 | | |
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| | REVISIONS: | DATE: OCTOBER 7, 2025 | |

| | | |
|--|--|---|
| | InSite Professional Complex, Suite 1 1539 Fall River Avenue, Seekonk, MA 02771 Phone: (508) 336-4500 Fax: (508) 336-4558 Web Address: InsiteEngineers.com | SHEET 10 OF 10 |
|--|--|---|