

SOURCE: USGS QUADRANGLE MAP, 7.5-MINUTE SERIES, KINGSTOWN, RI, DATED 2024

KEY MAP

SCALE: 1" = 1,000'±

PRELIMINARY & FINAL MINOR SITE PLAN FOR ASHWORTH INVESTMENTS, LLC. PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT

MAP 32-4 | LOT 21
2001 KINGSTOWN ROAD
TOWN OF SOUTH KINGSTOWN, WASHINGTON COUNTY, RHODE ISLAND

APPLICANT/OWNER
ASHWORTH INVESTMENTS, LLC.
REILLY MILLER
40 MALBONE STREET
WARWICK, RHODE ISLAND 02888
410-742-2760
ASHWORTHINVESTMENTSRI@GMAIL.COM

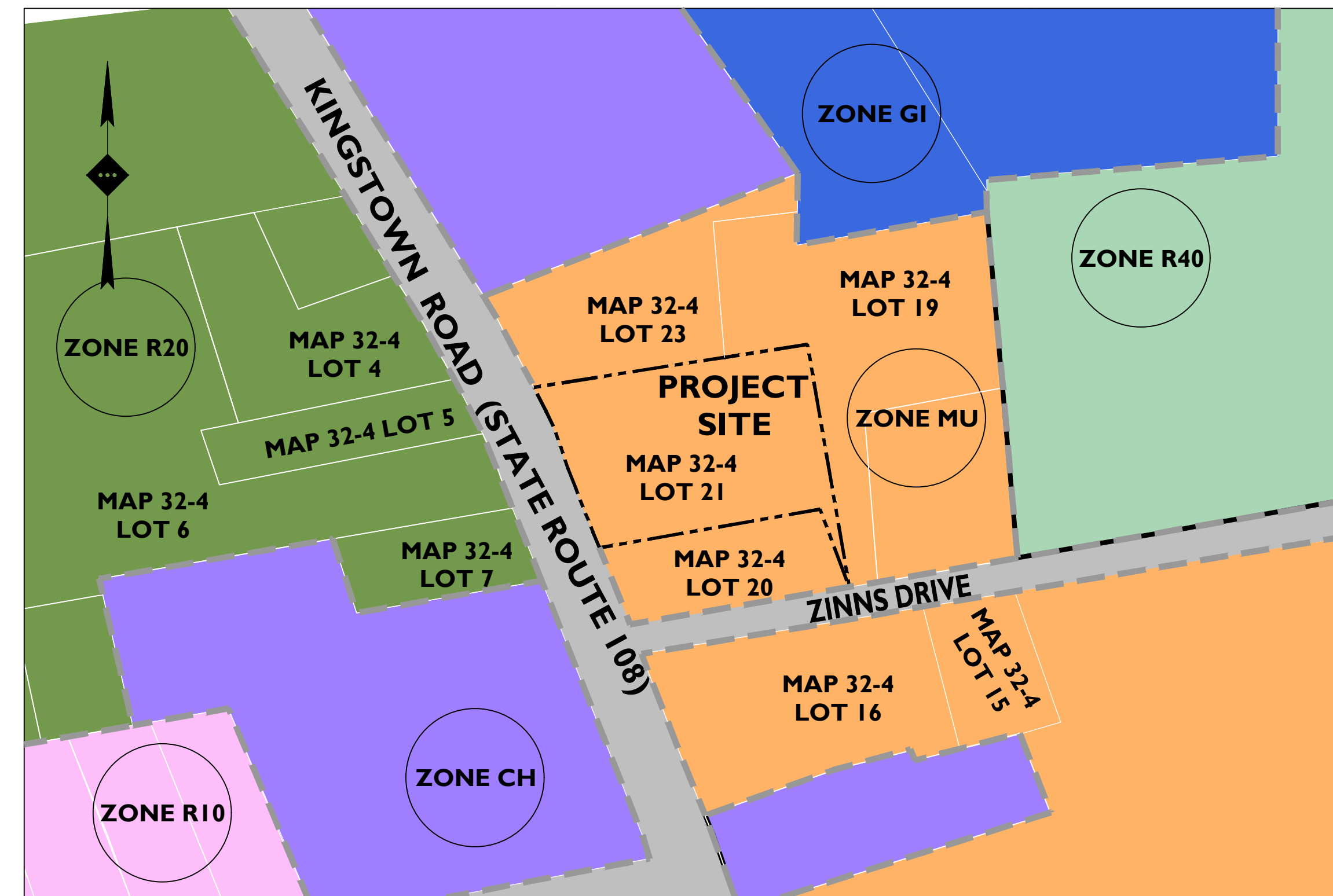
ATTORNEY
MANCINI CARTER, PC
JOHN O. MANCINI ESQ.
56 PINE STREET, 3RD FLOOR
PROVIDENCE, RHODE ISLAND 02903
410-343-7000
JMANCINI@MANCINICARTER.COM



SOURCE: GOOGLE EARTH, DATED 2025

AERIAL MAP

SCALE: 1" = 100'±



SOURCE: TOWN OF SOUTH KINGSTOWN ASSESSOR PLAT MAP 32 DATED: 09/02/2020, 32-4 DATED: 10/25/2019, 40-1 DATED: 02/25/2025

TAX & ZONING MAP

SCALE: 1" = 100'±

ZONING LEGEND:

- (MU) - MIXED USE
- (R-20) - MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT
- (CH) - COMMERCIAL HIGHWAY
- (R40) - MEDIUM DENSITY RESIDENTIAL DISTRICT
- (R-10) - MEDIUM HIGH DENSITY RESIDENTIAL DISTRICT

PLAN REFERENCE MATERIALS:

1. THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
 - EXISTING CONDITIONS SURVEY PREPARED BY NORTHEAST GEOSPATIAL CONSULTANTS, DATED AUGUST 10, 2025
 - GEOTECHNICAL REPORT PREPARED BY ECOSYSTEM SOLUTIONS, DATED AUGUST 8, 2025
2. ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.

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PLANS PREPARED BY:



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PLAN SET CLASSIFICATION

PROPOSED
MULTI-HOUSEHOLD LAND
DEVELOPMENT PROJECT

BLOCK 32-4, LOT 21
2001 KINGSTOWN ROAD
TOWN OF SOUTH KINGSTOWN
WASHINGTON COUNTY, RHODE ISLAND



JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE No. 13607
LICENSED PROFESSIONAL ENGINEER



SCALE: AS SHOWN PROJECT ID: BOS-250053

TITLE:
COVER SHEET

DRAWING:
C-1

TOWN OF SOUTH KINGSTOWN 200' PROPERTY OWNERS LIST			
MAP	LOT	OWNER	OWNER'S ADDRESS
32-4	4	BROCK, MICHAEL A	210 WINDMILL DRIVE WAKEFIELD, RI 02879
32-4	5	FAYERWEATHER, LESTER	C/O MARY BROWN EXETER, RI 02822
32-4	6	WHITMAN, EVERETT A III	2004 KINGSTOWN ROAD WAKEFIELD, RI 02879
32-4	7	GAROFANO, MICHAEL	1998 KINGSTOWN ROAD WAKEFIELD, RI 02879
32-4	15	FOREMAN, JOHN W V & MELANIE AP	40 SPRUCE COURT
32-4	16	HOLLAND, W H ELECTRIC INC	P.O. BOX 5 PEACE DALE, RI 02883
32-4	19	WILLS, DANA B	20 ZINNS DRIVE WAKEFIELD, RI 02879
32-4	20	ROCKWELL, DONNA L	1991 KINGSTOWN ROAD WAKEFIELD, RI 02879
32-4	23	TOOLAN, TYLER J	2015 KINGSTOWN RD WAKEFIELD, RI 02879



Z:\R0701040\20250228\25022803 HELLY MILLER - 200' KINGSTOWN ROAD, SOUTH KINGSTOWN, RI\A0701040\101.dwg

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PLAN SET CLASSIFICATION

PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT

BLOCK 32-4, LOT 71
PEACE DALE ROAD (STATE ROUTE 108)
TOWN OF SOUTH KINGSTOWN
WASHINGTON COUNTY, RHODE ISLAND



JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE No. 13607
LICENSED PROFESSIONAL ENGINEER

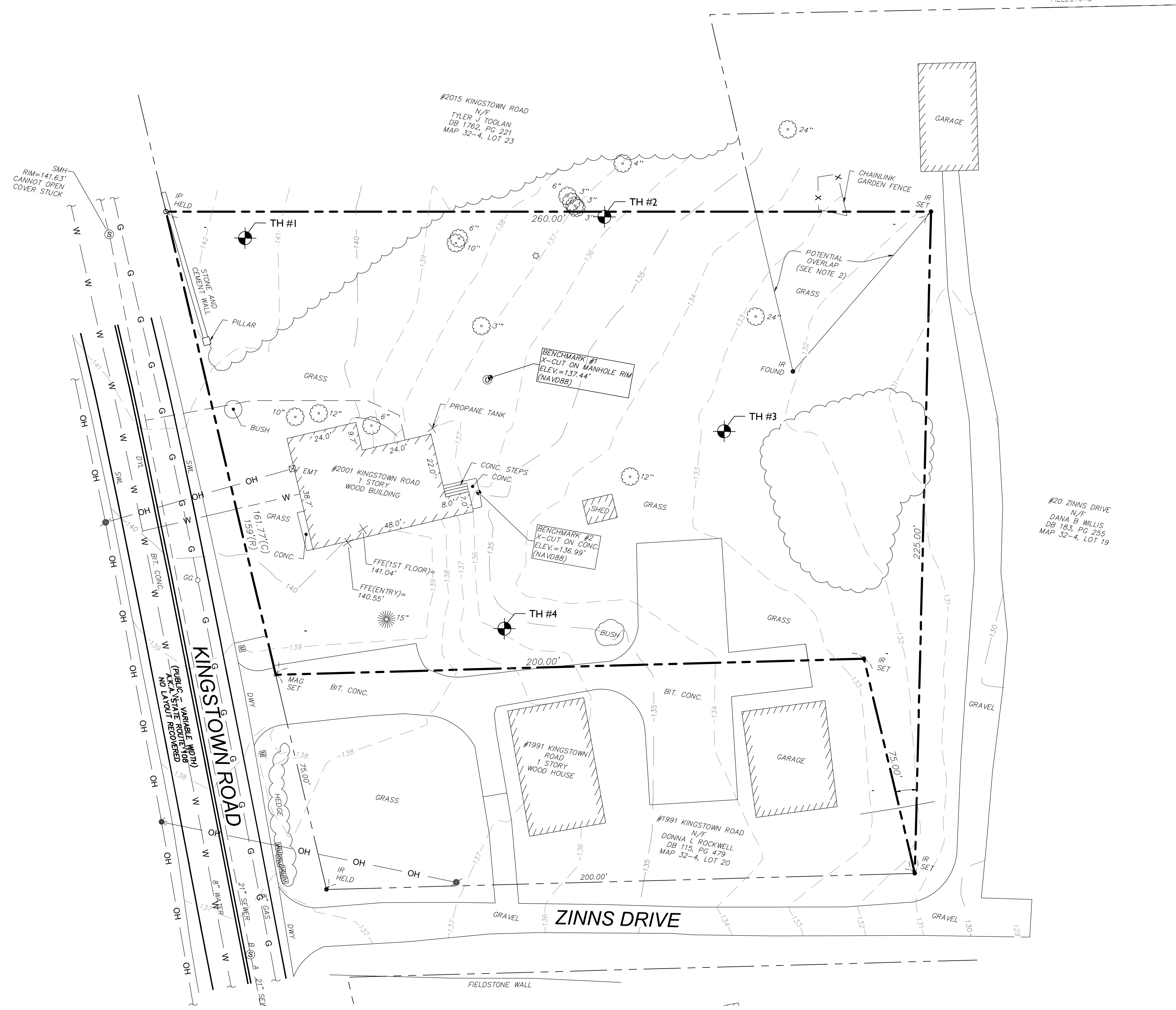
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SCALE: AS SHOWN PROJECT ID: BOS-250053

TITLE:
RADIUS MAP

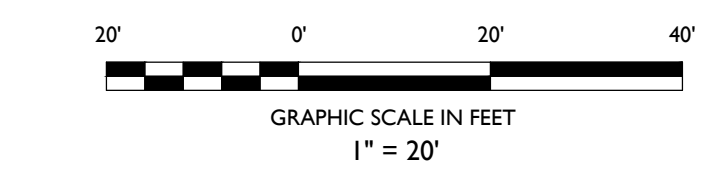
DRAWING:
C-2

Z:\KINGSTOWN\20150825\20150825-10001 KINGSTOWN ROAD, SOUTH KINGSTOWN, RHODE ISLAND\DWG.DWG



SYMBOL	DESCRIPTION
	ELECTRIC METER
	EXISTING MAILBOX
	GAS GATE
	IRON PIPE
	IRON ROD
	NAIL
	SEWER MANHOLE
	UTILITY POLE
	UTILITY POLE W/LIGHT
	BITUMINOUS
	CONCRETE
	DOUBLE YELLOW LINE
	FINISHED FLOOR ELEVATION
	IRON PIPE
	IRON ROD
	SOLID WHITE LINE
	OVERHEAD WIRE
	CHAINLINK FENCE
	GAS PIPE
	SEWER PIPE
	SEWER PIPE
	EXISTING PAVEMENT
	PAVEMENT MARKING
	PROPERTY LINE
	EXISTING BUILDING
	ADJACENT PROPERTY LINE
	WOODED BOUNDARY LINE
	SHRUB
	CONIFEROUS TREE
	DECIDUOUS TREE

- SURVEY NOTES:**
- THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.
 - MONUMENTS FOUND AND A PRIVATE SURVEY UPDATED AND UNSTARRED WAS PROVIDED TO THE FIELD SURVEYOR INDICATING A POTENTIAL OVERLAP WITH #20 ZINNS DRIVE.
 - NO HISTORICAL CEMETERIES ARE LOCATED ON OR WITHIN THE IMMEDIATE VICINITY OF THE PROJECT SITE.
 - NO NATURAL HERITAGE AREAS, AS DEFINED BY RIDEM, ARE LOCATED ON OR WITHIN THE IMMEDIATE VICINITY OF THE PROJECT SITE.
 - THE PROJECT SITE IS NOT LOCATED WITHIN THE JURISDICTION OF ANY SPECIAL AREA MANAGEMENT PLAN OF RI CRIC.
 - THE PROJECT SITE IS NOT LOCATED WITHIN THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT.
 - THE PROJECT SITE IS NOT LOCATED WITHIN THE TOWN OF SOUTH KINGSTOWN GROUNDWATER PROTECTION OVERLAY DISTRICT.
 - THE PROJECT SITE IS NOT LOCATED WITHIN A DRINKING WATER SUPPLY WATERSHED, AS DEFINED BY RIDEM.
 - THE PROJECT SITE IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA, AS DEFINED BY RIDEM.



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PLAN SET CLASSIFICATION

PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT

BLOCK 32-4, LOT 71
SOUTH KINGSTOWN
TOWN OF SOUTH KINGSTOWN
WASHINGTON COUNTY, RHODE ISLAND

JOSHUA HENRY KLINE
No. 13607
PROFESSIONAL ENGINEER
CIVIL

JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE No. 13607
LICENSED PROFESSIONAL ENGINEER

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SCALE: 1" = 20' PROJECT ID: BOS-250053

TITLE:
EXISTING CONDITIONS PLAN

DRAWING:
C-3

LAND USE AND ZONING			
MAP 32-4, LOT 21			
MIXED USE (MU)			
PROPOSED USE			
MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECTS (USE CODE I2.1)		PERMITTED USE	
ZONING REQUIREMENT	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT SIZE & MAXIMUM LOT DENSITY	30,000 SF *	37,736 SF	NO CHANGE
MINIMUM LOT WIDTH AND FRONTAGE	150 FT	159 FT	159 FT
MINIMUM LOT DEPTH	90 FT	200 FT	200 FT
MAXIMUM BUILDING COVERAGE	30%	6%	15.6%
MAXIMUM BUILDING HEIGHT	35 FT	35 FT	< 35 FT
MINIMUM FRONT YARD SETBACK	25 FT	13 FT	28.7 FT
MINIMUM SIDE YARD SETBACK	10 FT	56 FT	15.3 FT
MINIMUM REAR YARD SETBACK	30 FT	151 FT	33.6 FT

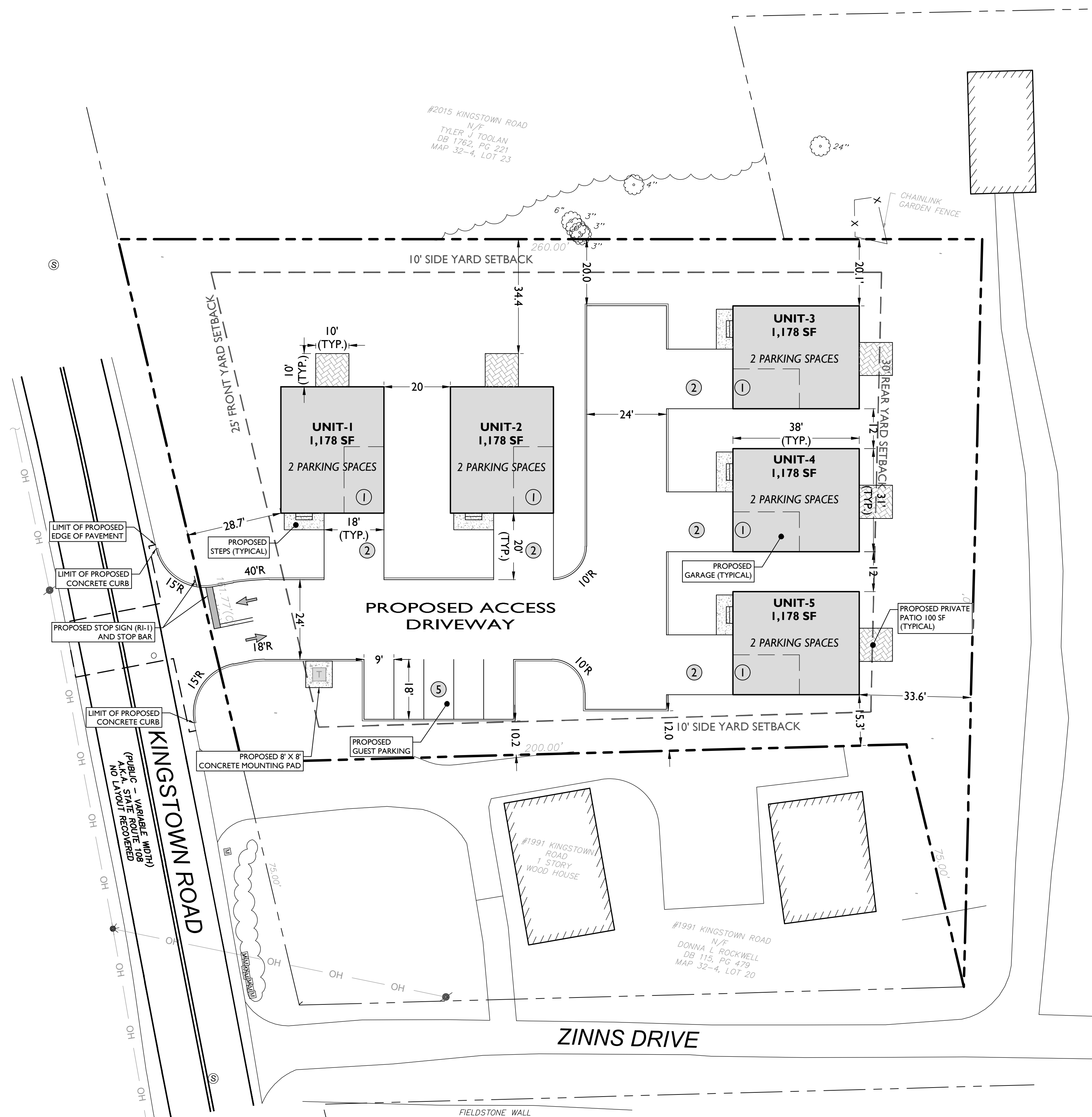
(*) 15,000 SF FOR THE FIRST 2 D.U.S + 5,000 SF PER EACH ADD'L D.U. 15,000 SF + 3 UNITS (5,000 SF) = 30,000 SF

OFF-STREET PARKING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 711. A.	REQUIRED PARKING: 2 SPACES PER DWELLING UNIT (2 SPACES X 5 UNITS) = 10 SPACES	15 SPACES

MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT REQUIREMENTS		
SUBDIVISION AND LAND DEVELOPMENT REGULATIONS		
SECTION H		
ZONING REQUIREMENT	REQUIRED	PROPOSED
#9 BUILDING SEPARATION	50 FT	12 FT (W)

(W) WAIVER REQUESTED

SYMBOL	DESCRIPTION
---	PROPERTY LINE
- - - -	SETBACK LINE
- · - · -	SAWCUT LINE
=====	PROPOSED CURB
○ ○	PROPOSED SIGNS / BOLLARDS
▒	PROPOSED BUILDING
△ △	PROPOSED CONCRETE
▨ ▨	PROPOSED PATIO



- GENERAL NOTES**
- THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
 - THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
 - ALL CONTRACTORS WILL TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEYS' FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
 - THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
 - THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
 - THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTORS EXPENSE.
 - CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
 - THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
 - THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
 - SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.

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PLAN SET CLASSIFICATION

PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT

BLOCK 32-4, LOT 21
100' WIDE FRONT YARD
TOWN OF SOUTH KINGSTOWN
WASHINGTON COUNTY, RHODE ISLAND

JOSHUA HENRY KLINE
No. 13607
PROFESSIONAL ENGINEER
CIVIL

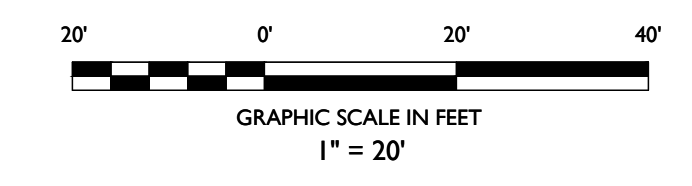
JOSHUA H. KLINE, P.E.
RHODE ISLAND LICENSE No. 13607
LICENSED PROFESSIONAL ENGINEER

STONEFIELD
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SCALE: 1" = 20' PROJECT ID: BOS-250053

TITLE: **SITE PLAN**

DRAWING: **C-5**



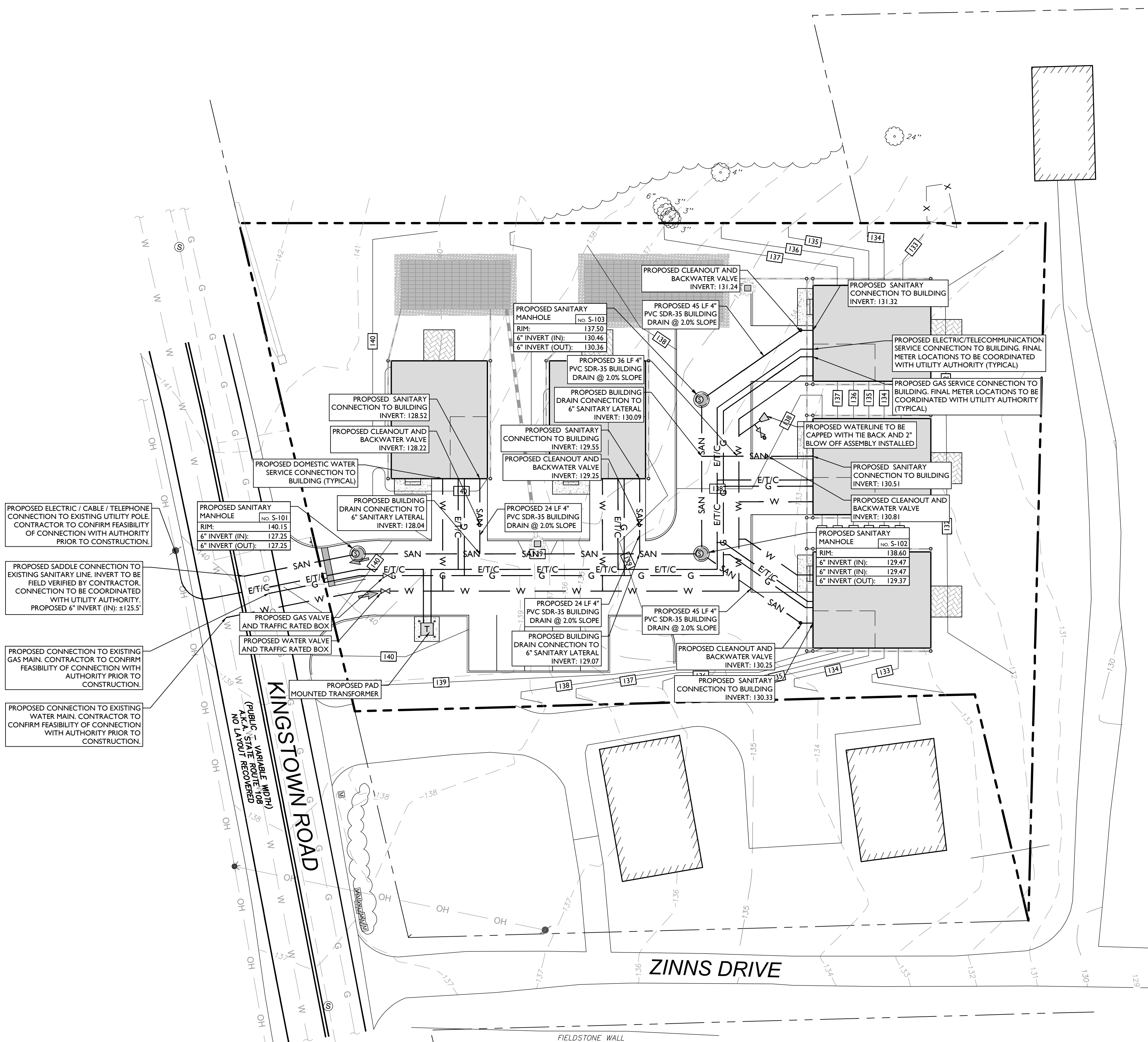
Z:\KINGSTOWN\20250528\250053\RELEVY MILLER - 2025 KINGSTOWN ROAD, SOUTH KINGSTOWN, RI\KINGSTOWN\KINGSTOWN SITE PLAN

EXCAVATION & UTILITY VERIFICATION NOTE:
 PRIOR TO THE START OF CONSTRUCTION (RECOMMENDED 30 DAYS PRIOR) THE CONTRACTOR SHALL PERFORM EXPLORATORY TEST PITS AT LOCATIONS OF UTILITY / DRAINAGE CROSSINGS OR CONNECTIONS WITH EXISTING UTILITY OR STORMWATER INFRASTRUCTURE. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ANY NECESSARY ROAD OPENING PERMITS TO PERFORM SAID EXPLORATORY WORK. SHOULD A CONFLICT BE DISCOVERED WITH THE INFORMATION CONTAINED WITHIN THESE PLANS THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.

SANITARY / STORMWATER CONSTRUCTION NOTE:
 THE CONTRACTOR SHALL START CONSTRUCTION OF ALL GRAVITY SANITARY AND STORMWATER INFRASTRUCTURE AT THE DOWNSTREAM CONNECTION POINT (E.G. LOWEST INVERT) AND WORK UP GRADIENT.

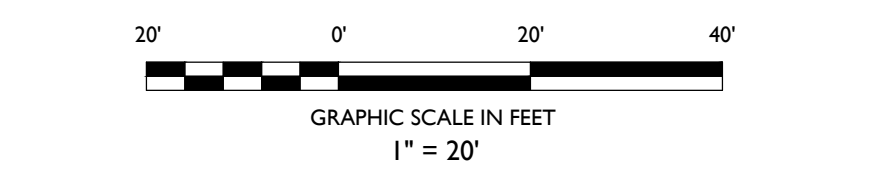
VERTICAL CLEARANCE NOTE:
 CONTRACTOR SHALL ENSURE A MINIMUM OF 18" VERTICAL CLEARANCE BETWEEN UTILITIES AT ALL CROSSING LOCATIONS. WHERE FEASIBLE, SANITARY SEWER LINES SHALL BE LOCATED BELOW OTHER UTILITIES.

SYMBOL	DESCRIPTION
---	PROPERTY LINE
— SAN —	PROPOSED SANITARY LATERAL
— W —	PROPOSED DOMESTIC WATER SERVICE
— E/T/C —	PROPOSED ELECTRICAL/DATA CONDUITS
— T/C —	PROPOSED DATA CONDUITS
— E —	PROPOSED ELECTRIC CONDUITS
— OH —	PROPOSED OVERHEAD WIRES
— G —	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊙	PROPOSED SANITARY MANHOLE / CLEANOUT
⊕	PROPOSED UTILITY POLE
⊞	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS



- PROPOSED SADDLE CONNECTION TO EXISTING SANITARY LINE. INVERT TO BE FIELD VERIFIED BY CONTRACTOR. CONNECTION TO BE COORDINATED WITH UTILITY AUTHORITY. PROPOSED 6" INVERT (IN): ±125.5'
- PROPOSED CONNECTION TO EXISTING GAS MAIN. CONTRACTOR TO CONFIRM FEASIBILITY OF CONNECTION WITH AUTHORITY PRIOR TO CONSTRUCTION.
- PROPOSED CONNECTION TO EXISTING WATER MAIN. CONTRACTOR TO CONFIRM FEASIBILITY OF CONNECTION WITH AUTHORITY PRIOR TO CONSTRUCTION.

- DRAINAGE AND UTILITY NOTES**
- THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
 - A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
 - THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
 - THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
 - CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP GRADIENT.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTION REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
 - THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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PLAN SET CLASSIFICATION

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BLOCK 32.4, LOT 71
 1000 WEST MAIN ROAD
 TOWN OF SOUTH KINGSTOWN
 WASHINGTON COUNTY, RHODE ISLAND

JOSHUA HENRY KLINE
 No. 13607
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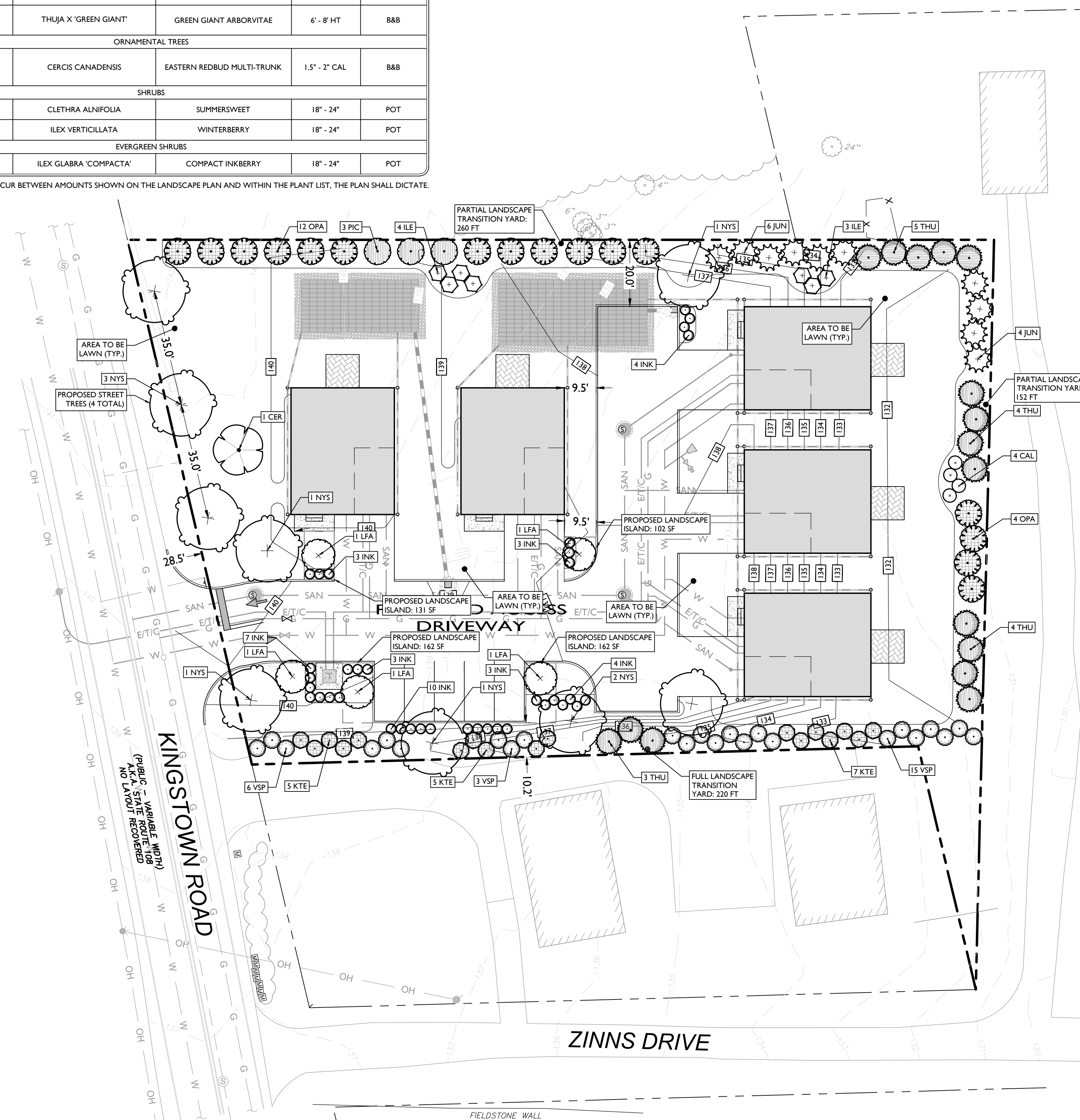
TITLE:
UTILITY PLAN

DRAWING:
C-8

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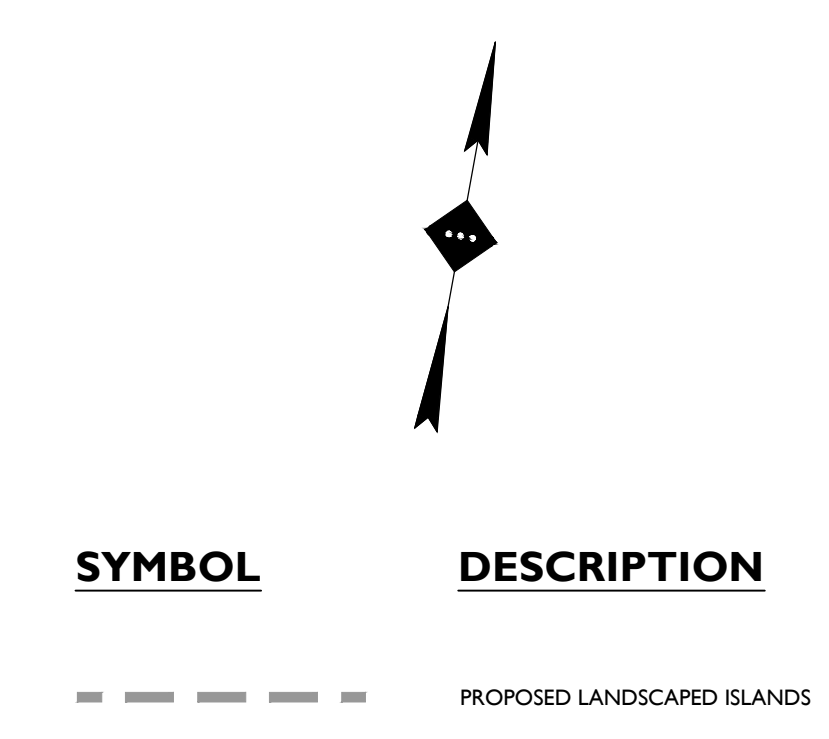
PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
DECIDUOUS TREES						
	LFA	5	LIRIODENDRON TULIPIFERA 'FASTIGIATA'	COLUMNAR TULIP POPLAR	1.5" - 2" CAL	B&B
	NYS	9	NYSSA SYLVATICA	SOUR GUM	1.5" - 2" CAL	B&B
EVERGREEN TREES						
	OPA	16	ILEX OPACA	AMERICAN HOLLY	6' - 8' HT	B&B
	JUN	10	JUNIPERUS VIRGINIANA	EASTERN REDCEDAR	6' - 8' HT	B&B
	VSP	24	JUNIPERUS VIRGINIANA 'SPARTAN'	SPARTAN EASTERN REDCEDAR	6' - 8' HT	B&B
	KTE	17	JUNIPERUS VIRGINIANA 'KETELEERI'	KETELEERI EASTERN REDCEDAR	6' - 8' HT	B&B
	PIC	3	PICEA ABIES	NORWAY SPRUCE	6' - 8' HT	B&B
	THU	16	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6' - 8' HT	B&B
ORNAMENTAL TREES						
	CER	1	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	1.5" - 2" CAL	B&B
SHRUBS						
	CAL	4	CLETHRA ALNIFOLIA	SUMMERSWEET	18" - 24"	POT
	ILE	7	ILEX VERTICILLATA	WINTERBERRY	18" - 24"	POT
EVERGREEN SHRUBS						
	INK	37	ILEX GLABRA 'COMPACTA'	COMPACT INKBERRY	18" - 24"	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



LANDSCAPING REQUIREMENTS (ZONING ORDINANCE)		
CODE SECTION	REQUIRED	PROPOSED
§ 402.1.2	<p>TRANSITION YARD LANDSCAPING</p> <p>LANDSCAPING SHALL BE REQUIRED WHEN ANY COMMERCIAL ZONING DISTRICT ABUTS A RESIDENTIAL DISTRICT</p> <p>FULL LANDSCAPE SCREEN REQUIRED:</p> <p>MINIMUM WIDTH: 10 FT</p> <p>8 EVERGREEN TREES AND 2 SHRUBS FOR EVERY 40 LF</p> <p>SOUTH PROPERTY LINE: 220 FT</p> <p>(220 FT) * (8 TREES / 40 FT FRONTAGE) = 44 EVERGREEN TREES</p> <p>(220 FT) * (2 SHRUBS / 40 FT FRONTAGE) = 11 SHRUBS</p> <p>PARTIAL LANDSCAPE SCREEN REQUIRED:</p> <p>MINIMUM WIDTH: 20 FT</p> <p>4 EVERGREEN TREES AND 1 SHRUB FOR EVERY 40 LF</p> <p>NORTH PROPERTY LINE: 260 FT</p> <p>(260 FT) * (4 EVERGREEN TREES / 40 FT FRONTAGE) = 26 TREES</p> <p>(260 FT) * (1 SHRUB / 40 FT FRONTAGE) = 7 SHRUBS</p> <p>EAST PROPERTY LINE: 152 FT</p> <p>(152 FT) * (4 EVERGREEN TREES / 40 FT FRONTAGE) = 16 TREES</p> <p>(152 FT) * (1 SHRUB / 40 FT FRONTAGE) = 4 SHRUBS</p>	<p>10.2 FT</p> <p>44 TREES</p> <p>11 SHRUBS</p> <p>20.0 FT</p> <p>26 TREES</p> <p>7 SHRUBS</p> <p>16 TREES</p> <p>4 SHRUBS</p>
§ 505.7.A	<p>PARKING LOT LANDSCAPING</p> <p>LANDSCAPING REQUIRED IN NEW DEVELOPMENT TO IMPROVE COMMUNITY APPEARANCE</p> <p>PARKING LOT LANDSCAPING REQUIRED FOR SCREENING, SHADE, AND DEFINING CIRCULATION</p>	<p>COMPLIES</p> <p>COMPLIES</p>
§ 604.E	<p>SITE LANDSCAPING</p> <p>ANY PROPERTY HAVING DIRECT FRONTAGE OF KINGSTOWN ROAD SHALL PROVIDE LANDSCAPING BETWEEN THE STREET R.O.W. AND THE PRINCIPAL BUILDING</p>	<p>COMPLIES</p>

LANDSCAPING REQUIREMENTS (SUBDIVISION & LAND DEVELOPMENT REGULATIONS)		
CODE SECTION	REQUIRED	PROPOSED
§IV.G.2 §IV.G.2.a FIGURE 7.	<p>STREET LANDSCAPING</p> <p>LANDSCAPE STRIP REQUIRED WHERE PARKING ADJOINS A R.O.W.</p> <p>MINIMUM WIDTH: 10 FT</p> <p>PARTIAL LANDSCAPE SCREEN REQUIRED</p> <p>2 SHADE TREES & 1 ORNAMENTAL TREE FOR EVERY 40 LF</p> <p>PARKING ALONG KINGSTOWN ROAD: 38 FT</p> <p>(38 FT) * (2 TREES / 40 FT FRONTAGE) = 2 SHADE TREES</p> <p>(38 FT) * (1 TREE / 40 FT FRONTAGE) = 1 ORNAMENTAL TREE</p>	<p>28.5 FT</p> <p>2 TREES</p> <p>1 TREE</p>
§IV.G.3	<p>PERIMETER PARKING LOT LANDSCAPING</p> <p>PARKING AREAS CONTAINING 5 OR MORE SPACES OR EXCEED 2,500 SF OF PAVED AREA: PERIMETER LANDSCAPE STRIP REQUIRED</p> <p>MINIMUM WIDTH: 10 FT</p> <p>1 TREE AND 3 SHRUBS FOR EVERY 35 LF OF PERIMETER</p> <p>NORTH PROPERTY LINE: 45 FT</p> <p>(45 FT) * (1 TREE / 35 FT PERIMETER) = 1 TREE</p> <p>(45 FT) * (3 SHRUBS / 35 FT PERIMETER) = 4 SHRUBS</p> <p>SOUTH PROPERTY LINE: 112 FT</p> <p>(112 FT) * (1 TREE / 35 FT PERIMETER) = 3 TREES</p> <p>(112 FT) * (3 SHRUBS / 35 FT PERIMETER) = 10 SHRUBS</p>	<p>NORTH: 11.5 FT</p> <p>SOUTH: 10.2 FT</p> <p>1 TREE</p> <p>4 SHRUBS</p> <p>3 TREES</p> <p>10 SHRUBS</p>
§IV.G.4 §IV.G.4.4	<p>INTERIOR PARKING LOT LANDSCAPING</p> <p>MINIMUM 5% INTERIOR LANDSCAPING REQUIRED</p> <p>(8,499 SF) * (0.05) = 425 SF</p> <p>MINIMUM LANDSCAPE ISLAND WIDTH: 9 FT</p> <p>1 TREE & 3 SHRUBS OR GROUND COVER FOR EVERY ISLAND</p> <p>(1 TREE * 4 ISLANDS) = 4 TREES</p> <p>(3 SHRUBS * 4 ISLANDS) = 12 SHRUBS</p>	<p>557 SF (6.5%)</p> <p>COMPLIES</p> <p>4 TREES</p> <p>12 SHRUBS</p>
§IV.G.5	<p>BUILDING LANDSCAPING</p> <p>LANDSCAPE STRIP BETWEEN BUILDING AND PARKING AREA REQUIRED</p> <p>MINIMUM LANDSCAPE STRIP WIDTH: 3 FT</p>	<p>COMPLIES</p>
§IV.G.7	<p>TRANSITION YARD LANDSCAPING</p> <p>TRANSITION YARD LANDSCAPING IS REQUIRED WHEN ADJACENT LAND USES ARE INCOMPATIBLE</p> <p>LANDSCAPING SHALL BE REQUIRED WHEN ANY COMMERCIAL ZONING DISTRICT ABUTS A RESIDENTIAL DISTRICT</p> <p>FULL LANDSCAPE SCREEN REQUIRED:</p> <p>MINIMUM WIDTH: 10 FT</p> <p>8 EVERGREEN TREES AND 2 SHRUBS FOR EVERY 40 LF</p> <p>SOUTH PROPERTY LINE: 220 FT</p> <p>(220 FT) * (8 TREES / 40 FT FRONTAGE) = 44 EVERGREEN TREES</p> <p>(220 FT) * (2 SHRUBS / 40 FT FRONTAGE) = 11 SHRUBS</p> <p>PARTIAL LANDSCAPE SCREEN REQUIRED:</p> <p>MINIMUM WIDTH: 20 FT</p> <p>4 EVERGREEN TREES AND 1 SHRUB FOR EVERY 40 LF</p> <p>NORTH PROPERTY LINE: 260 FT</p> <p>(260 FT) * (4 EVERGREEN TREES / 40 FT FRONTAGE) = 26 TREES</p> <p>(260 FT) * (1 SHRUB / 40 FT FRONTAGE) = 7 SHRUBS</p> <p>EAST PROPERTY LINE: 152 FT</p> <p>(152 FT) * (4 EVERGREEN TREES / 40 FT FRONTAGE) = 16 TREES</p> <p>(152 FT) * (1 SHRUB / 40 FT FRONTAGE) = 4 SHRUBS</p>	<p>10.2 FT</p> <p>44 TREES</p> <p>11 SHRUBS</p> <p>20.0 FT</p> <p>26 TREES</p> <p>7 SHRUBS</p> <p>16 TREES</p> <p>4 SHRUBS</p>
§IV.G.8	<p>LANDSCAPED STREET YARDS</p> <p>ANY ZONING DISTRICT HAVING FRONTAGE ON KINGSTOWN ROAD SHALL HAVE A LANDSCAPED STREET YARD</p>	<p>COMPLIES</p>
§XIII.B.13	<p>STREET TREE REQUIREMENTS</p> <p>1 TREE FOR EVERY 50 LF OF FRONTAGE</p> <p>KINGSTOWN ROAD: 162 FT</p> <p>(162 FT) * (1 TREE / 50 FT FRONTAGE) = 4 TREES</p>	<p>4 TREES</p>

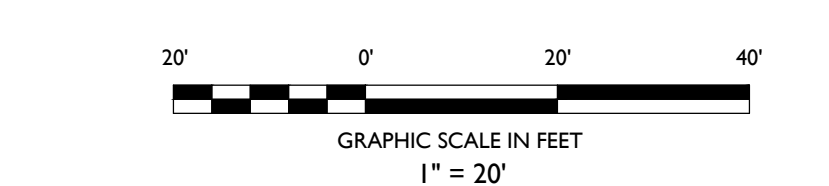


SYMBOL	DESCRIPTION
---	PROPOSED LANDSCAPED ISLANDS



**Know what's below
Call before you dig.**

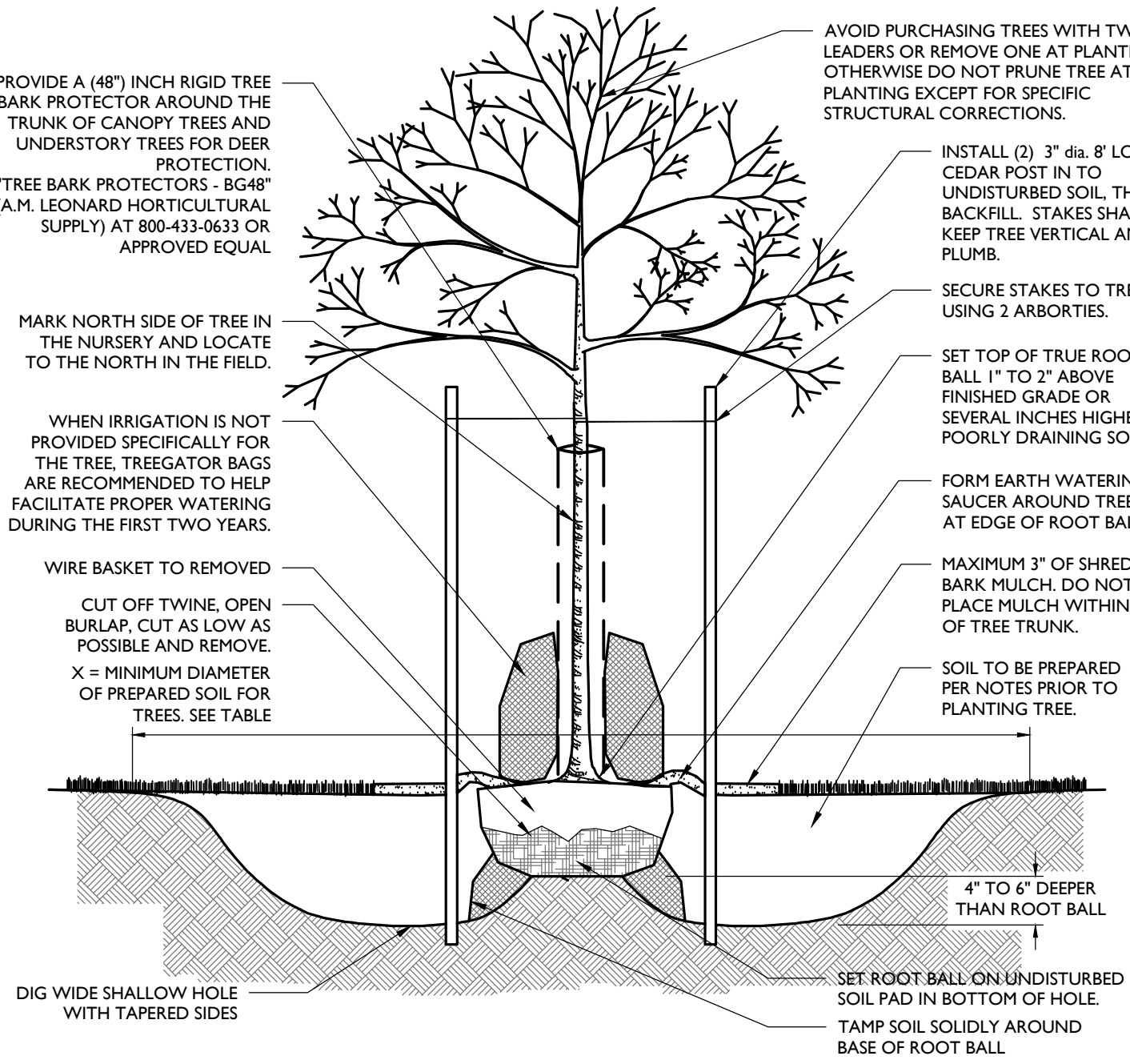
- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
 - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
 - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
 - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
 - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



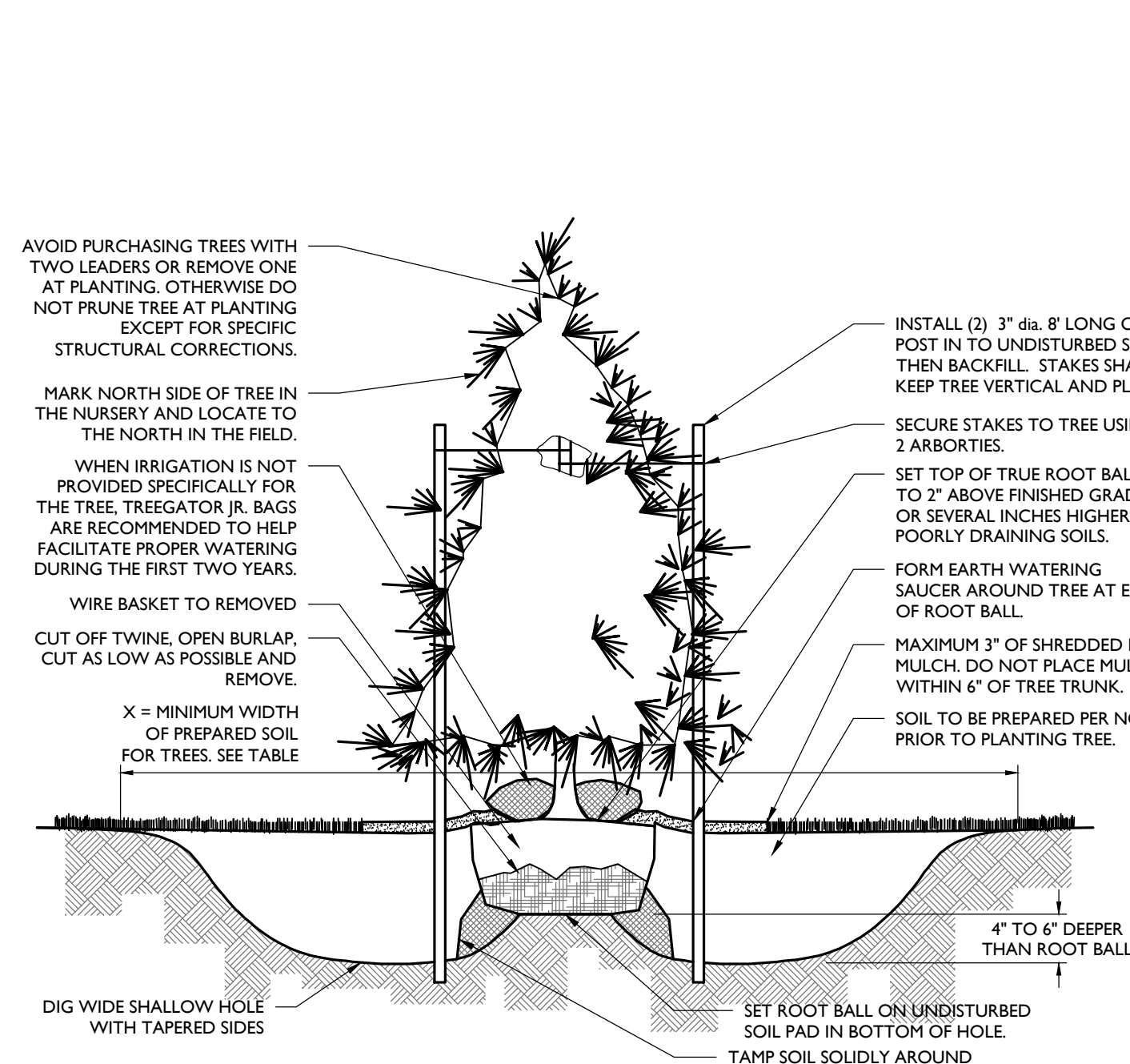
<p>NOT APPROVED FOR CONSTRUCTION</p>	<p>STONEFIELD engineering & design</p>
<p>Rutherford, NJ · New York, NY · Salem, MA · Providence, RI Princeton, NJ · Tampa, FL · Birmingham, MI www.stonefielddesign.com</p>	<p>56 Pine Street, Providence, Rhode Island Phone 617.203.2076</p>
<p>PLAN SET CLASSIFICATION</p> <p>PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT</p> <p>BLOCK 32.4, LOT 71 OFFICE OF THE TOWN ENGINEER TOWN OF SOUTH KINGSTOWN WASHINGTON COUNTY, RHODE ISLAND</p>	
<p>JOSHUA HENRY KLINE No. 13607 PROFESSIONAL ENGINEER CIVIL</p> <p>JOSHUA H. KLINE, P.E. RHODE ISLAND LICENSE NO. 13607 LICENSED PROFESSIONAL ENGINEER</p>	
<p>STONEFIELD engineering & design</p>	
<p>SCALE: 1" = 20' PROJECT ID: BOS-250053</p>	
<p>TITLE: LANDSCAPING PLAN</p>	
<p>DRAWING: C-11</p>	

Z:\KINGSTOWN\2025\250053\250053-1000\11\LANDSCAPING\11.LANDSCAPING.DWG

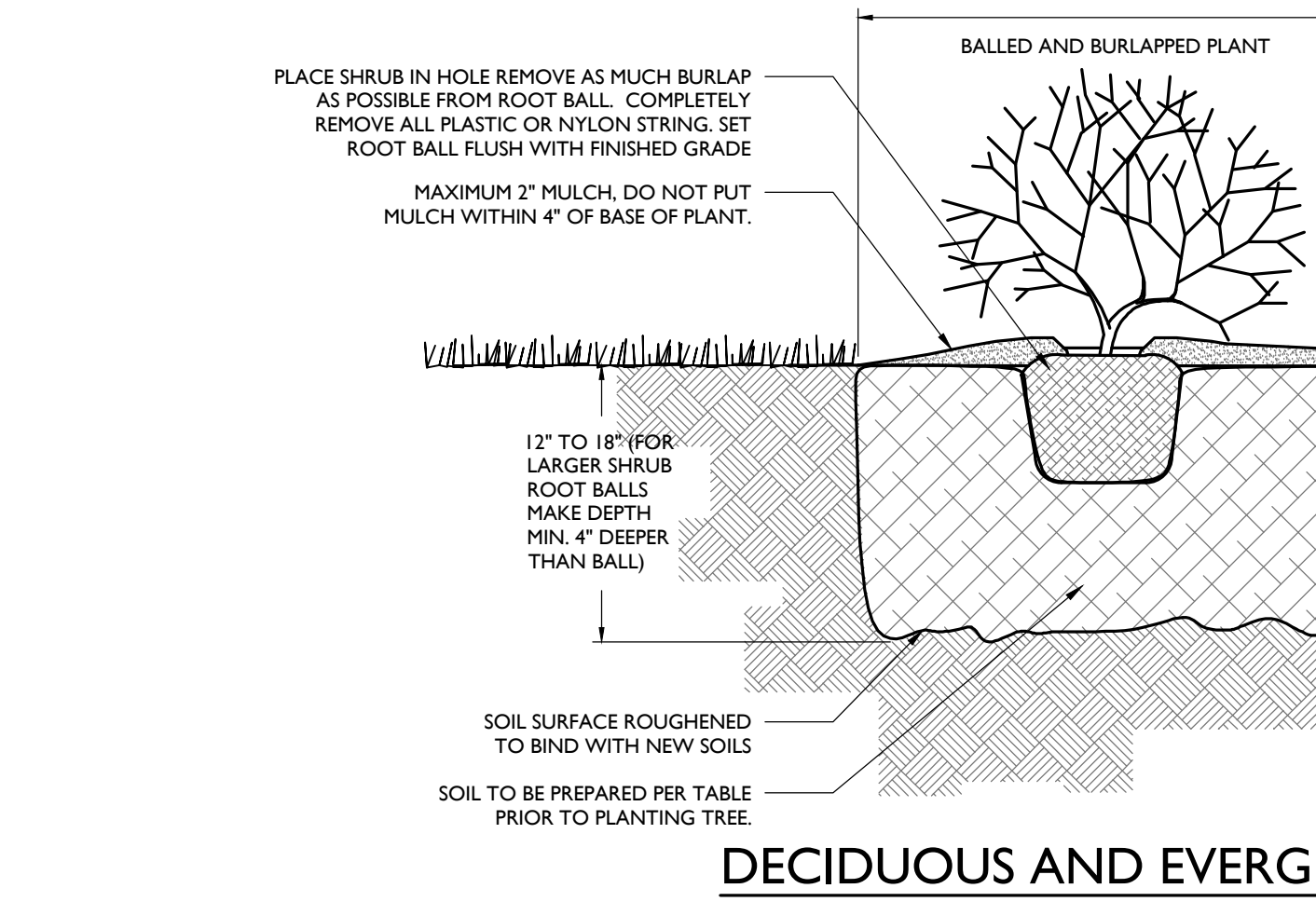
- NOTES:**
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



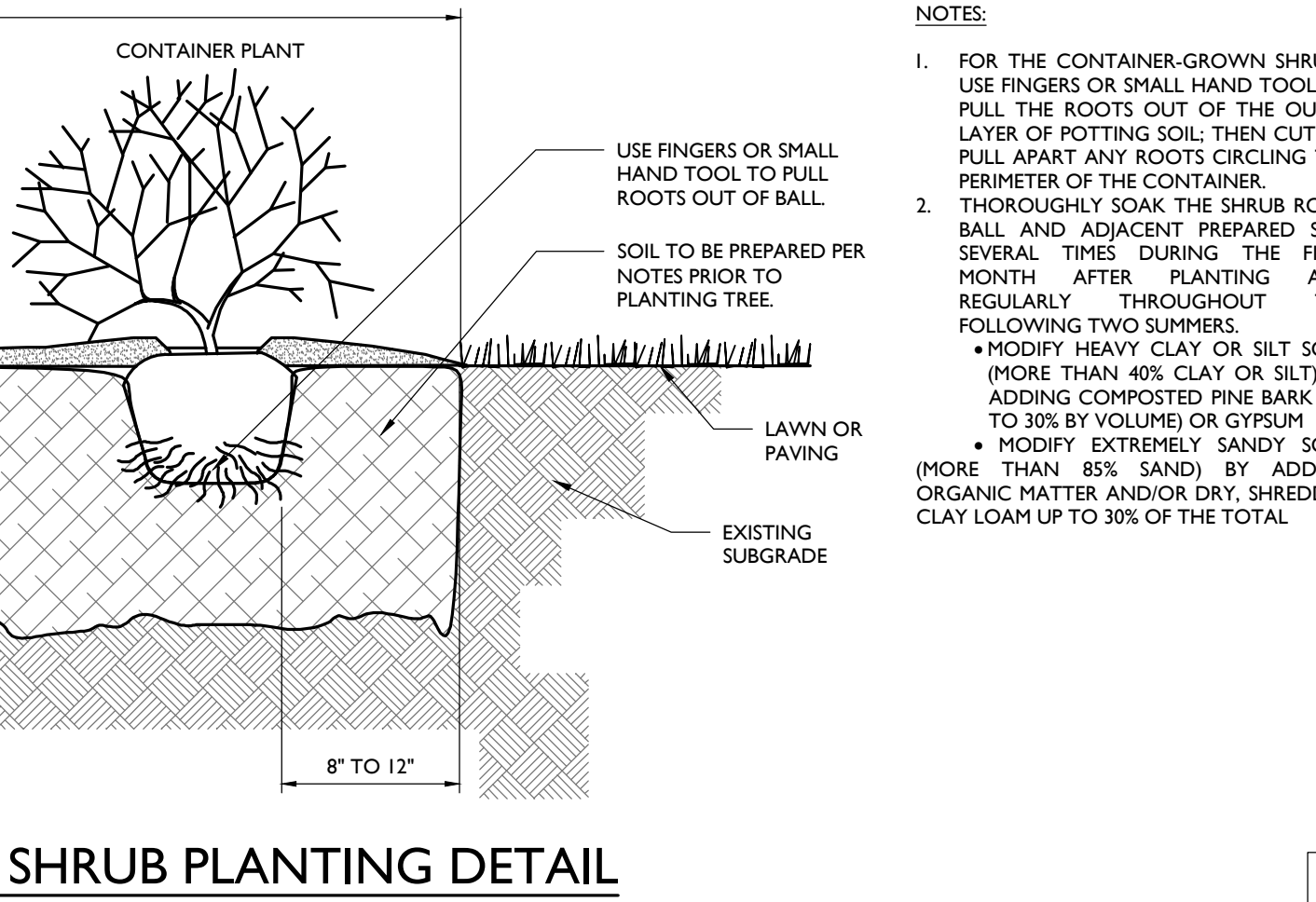
- NOTES:**
- FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER.
 - THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



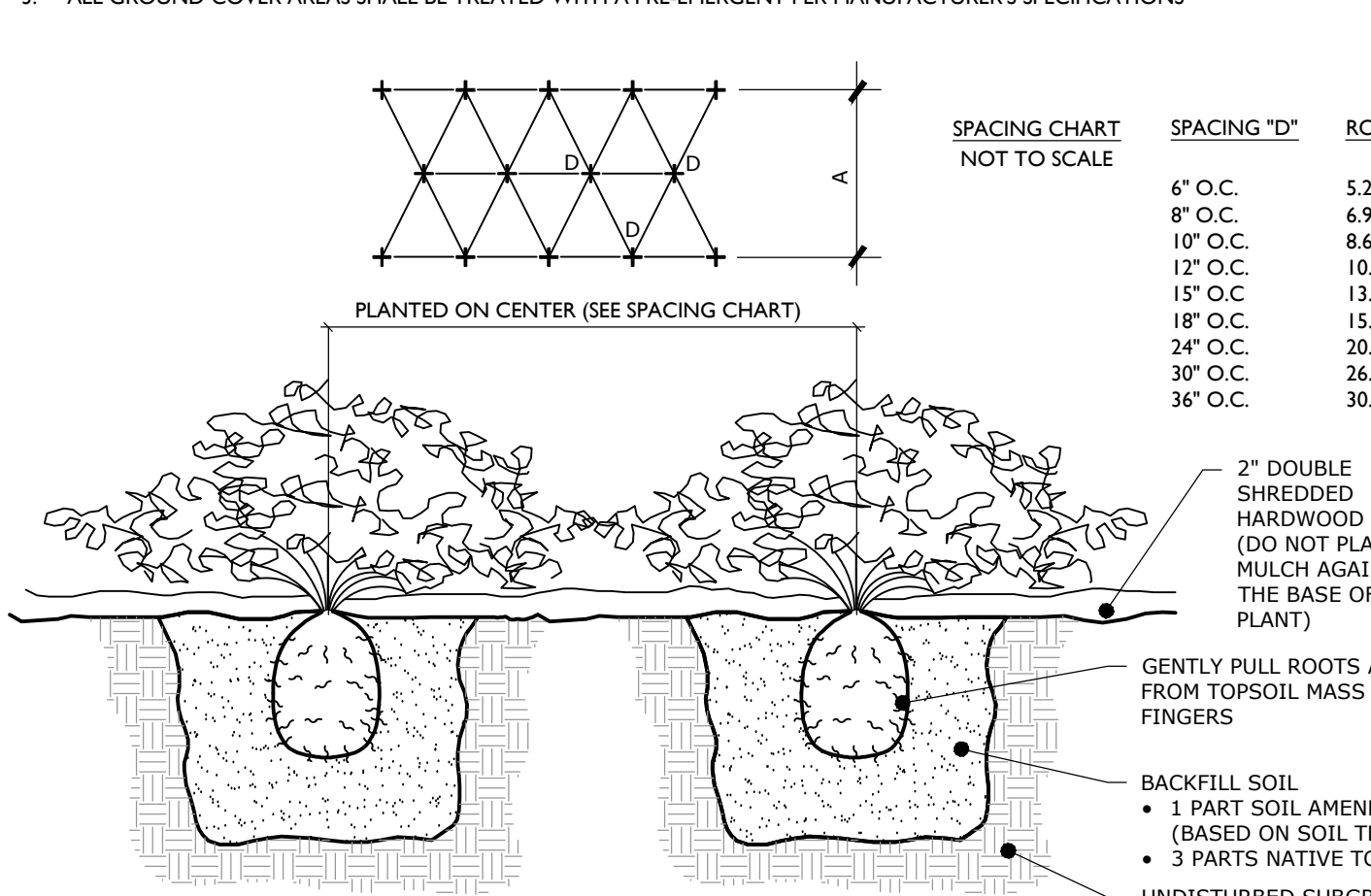
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL
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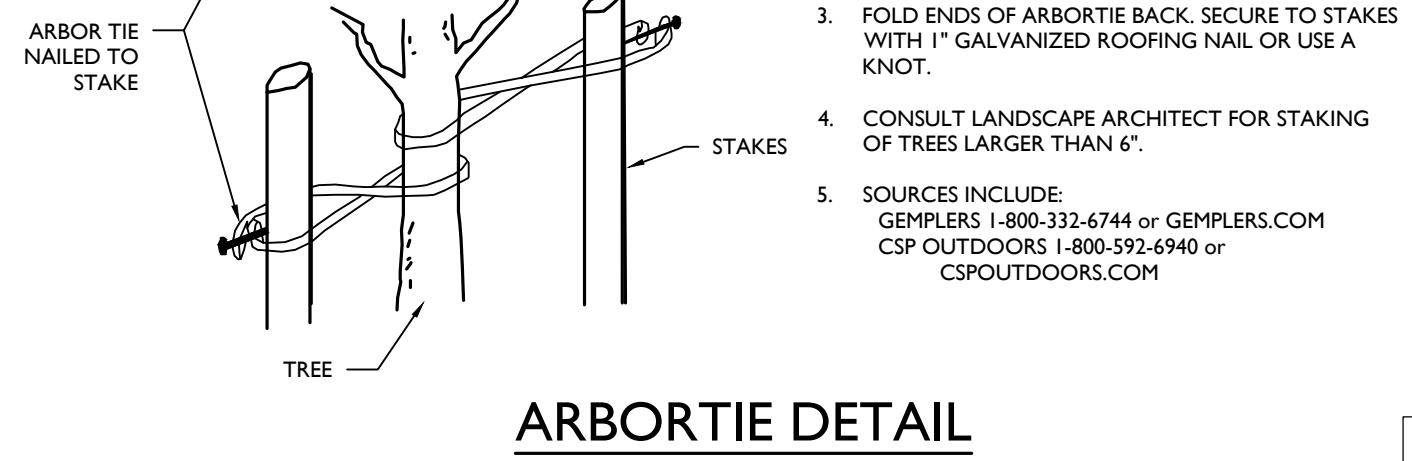
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NOT TO SCALE



- NOTES:**
- THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.
 - SOIL AMENDMENTS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
 - ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS



- GENERAL LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE WITHIN THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
 - WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
 - IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
 - IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED VERIFYING TYPE AND PURITY.
 - UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIAL TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE DESIGNER, OR GOVERNING MUNICIPAL OFFICIAL.
 - THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.



- TABLE NOTES:**
- AT EACH IRRIGATION, APPLY TWO TO THREE GALLONS PER INCH TRUNK CALIPER TO THE ROOT BALL SURFACE. APPLY IT IN A MANNER SO ALL WATER SOAKS THE ENTIRE ROOT BALL, DO NOT WATER IF ROOT BALL IS WET/SATURATED ON THE IRRIGATION DAY.
 - WHEN IRRIGATING FOR VITALITY, DELETE DAILY IRRIGATION WHEN PLANTING IN WINTER OR WHEN PLANTING IN COOL CLIMATES. ESTABLISHMENT TAKES THREE TO FOUR MONTHS PER INCH TRUNK CALIPER, NEVER APPLY IRRIGATION IF THE SOIL IS SATURATED.
 - WHEN IRRIGATING FOR SURVIVAL, TREES TAKE MUCH LONGER TO ESTABLISH THAN REGULARLY IRRIGATED TREES. IRRIGATION MAY BE REQUIRED IN THE NORMAL HOT, DRY PORTIONS OF THE FOLLOWING YEAR.

- GENERAL LANDSCAPING NOTES:**
- BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRAIN-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL'S REQUIREMENTS. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.
 - IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE EQUIPMENT, DEBRIS, OR OTHER MATERIAL SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTORS SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT.
 - IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRAIN-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:
 - TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE.
 - RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE FINISHED GRADE AT TREE. INSTALLED GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WALL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL."
 - LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

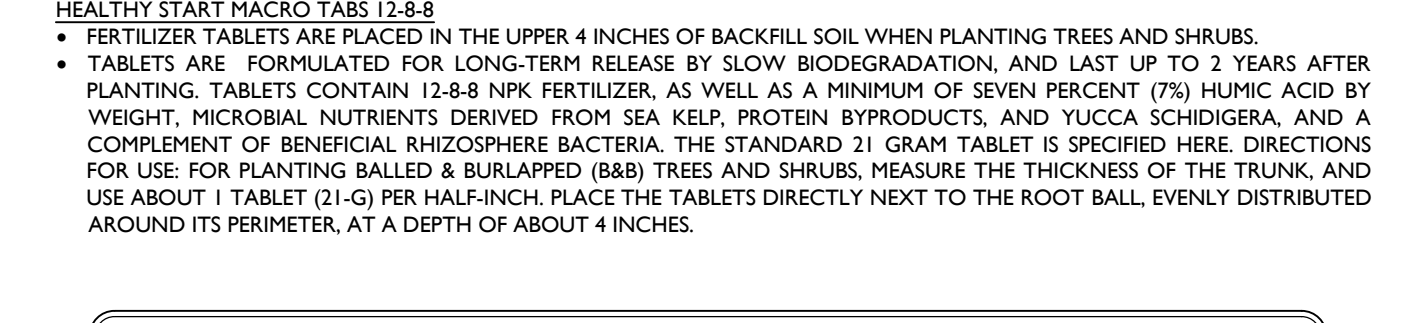
- PROTECTION OF EXISTING VEGETATION NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
 - BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WASHED OR DRAINABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
 - TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
 - OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
 - CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
 - UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
 - DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
 - WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
 - SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
 - APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
 - ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3 OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCRO® TREE SAVER IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- PLANT MATERIAL GUARANTEE NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR (1 YR) FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER'S REPRESENTATIVE.
 - THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS.
 - ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLAN LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, VEHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE APPROVED AND PAID FOR BY THE OWNER.
 - THE CONTRACTOR SHALL INSTRUCT THE OWNER AS TO THE PROPER CARE AND MAINTENANCE OF ALL PLANTINGS.

- PLANT QUALITY AND HANDLING NOTES:**
- ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-2004) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 - IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES.
 - ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.
 - PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED.
 - ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE.
 - THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF.
 - ALL PLANTS DESIGNATED BALL AND BURGLAP (BB) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURGLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR THE HEALTHY DEVELOPMENT OF THE PLANT. NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HELE-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURGLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURGLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURGLAP IS TO BE REMOVED.
 - ALL PLANTS SHALL BE MOVED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARP OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DELIVERY, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOSTLY FRESH AND PROTECTED. SUCH PROTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TEMPORARY STORAGE.
 - ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS.
 - LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. IF PLANTS ARE NOT PLANTED IMMEDIATELY ON SITE, PROPER CARE SHALL BE TAKEN TO PLACE THE PLANTINGS IN PARTIAL SHADE WHEN POSSIBLE. THE ROOT BALL SHALL BE KEPT MOSTLY AT ALL TIME AND COVERED WITH MOISTENED MULCH OR AGED TOPSOIL. PROPER IRRIGATION SHALL BE SUPPLIED SO AS TO NOT ALLOW THE ROOT BALL TO DRY OUT. PLANTINGS SHALL BE UNTIED AND PROPER SPACING SHALL BE ALLOTTED FOR AIR CIRCULATION AND TO PREVENT DISEASE, WILTING, AND LEAF LOSS. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.
 - PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED.
 - IF ROCKS OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE DESIGNER RESERVES THE RIGHT TO REMOVE OR ENLARGE PLANTING HOLE TO CLEAR OBSTRUCTION. PLANTS SHALL BE MAINTAINED TO A HEIGHT OF EIGHT FEET (8') ABOVE GRADE AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY.
 - INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:
 - PLANTS (MARCH 15 - DECEMBER 15)
 - LAWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1)
 - THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPORT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):
 - ABIES CONCOLOR
 - ACER BUEBERIANUM
 - ACER RUBRUM
 - ACER SACCHARINUM
 - BETULA VARIETIES
 - CARPINUS VARIETIES
 - CEDRUS DEODARA
 - CELTIS VARIETIES
 - CERIDIPHYLLUM VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - CORNUS VARIETIES
 - CRATAEGUS VARIETIES
 - NYSSA SYLVATICA
 - IF A PROPOSED PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST, AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.
 - DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED.
 - THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY.
 - A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED.
 - MAINTENANCE SHALL INCLUDE BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS, MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.
 - HOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DIRECTION OF THE UNDERLYING TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS.
 - GRASS AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIAL, OR OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING.
 - SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.
 - LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOUT REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDSCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OF A WATERING TRUCK OR OTHER ACCEPTABLE MEANS.
 - THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL.
 - IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

- SOIL PREPARATION AND MULCH NOTES:**
- LANDSCAPE CONTRACTOR SHALL OBTAIN A SOIL TEST OF THE IN-SITU TOPSOIL BY A CERTIFIED SOIL LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS.
 - BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE "SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY. IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS:
 - MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM.
 - MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
 - TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL, TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WASHED OR DRAINABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SAND, STONES, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1").
 - TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT.
 - OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.
 - CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.
 - UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.
 - LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN.
 - ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE DESIGNER OR MUNICIPAL OFFICIAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SURFACE AND SUBSURFACE PLANT BED DRAINAGE PRIOR TO THE INSTALLATION OF PLANTINGS. IF POOR DRAINAGE CONDITIONS EXIST, CORRECTIVE ACTION SHALL BE TAKEN PRIOR TO INSTALLATION. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF SURFACE WATER.
 - DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE CONTRACTOR, GROUND COVER, PERENNIAL AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT WITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF.
 - WHENEVER POSSIBLE, THE SOIL PREPARATION AREA SHALL BE CONNECTED FROM PLANTING TO PLANTING.
 - SOIL SHALL BE LOOSENED WITH A BACKHOE OR OTHER LARGE COARSE-TILING EQUIPMENT UNLESS THE SOIL IS FROZEN OR EXCESSIVELY WET. TILING THAT PRODUCES LARGE, COARSE CHUNKS OF SOIL IS PREFERABLE TO TILING THAT RESULTS IN FINE GRAINS UNIFORM IN TEXTURE. AFTER THE AREA IS LOOSENED IT SHALL NOT BE DRIVEN OVER BY ANY VEHICLE.
 - APPLY PRE-EMERGENT WEED CONTROL TO ALL PLANT BEDS PRIOR TO MULCHING. ENSURE COMPATIBILITY BETWEEN PRODUCT AND PLANT MATERIAL.
 - ALL PLANTING SOIL SHALL BE AMENDED WITH THE FOLLOWING:
 - MYCRO® TREE SAVER - A DRY GRANULAR MYCORRHIZAL FUNGI INOCULANT THAT IS MIXED IN THE BACKFILL WHEN PLANTING TREES AND SHRUBS. IT CONTAINS SPORES OF BOTH ECTOMYCORRHIZAL AND VA MYCORRHIZAL FUNGI (VAM), BENEFICIAL RHIZOSPHERE BACTERIA, TERRA-SORB SUPERABSORBENT HYDROGEL TO REDUCE WATER LEACHING, AND SELECTED ORGANIC MICROBIAL NUTRIENTS.
 - DIRECTIONS FOR USE: USE 3 OZ PER EACH FOOT DIAMETER OF THE ROOT BALL, OR 3-OZ PER INCH CALIPER. MIX INTO THE BACKFILL WHEN TRANSPLANTING TREES AND SHRUBS. MIX PRODUCT IN A RING-SHAPED VOLUME OF SOIL AROUND THE UPPER PORTION OF THE ROOT BALL, EXTENDING FROM THE SOIL SURFACE TO A DEPTH OF ABOUT 8 INCHES, AND EXTENDING OUT FROM THE ROOT BALL ABOUT 8 INCHES INTO THE BACKFILL. APPLY WATER TO SOIL SATURATION.
 - MYCRO® TREE SAVER IS EFFECTIVE FOR ALL TREE AND SHRUB SPECIES EXCEPT RHODODENDRONS, AZALEAS, AND MOUNTAIN LAUREL, WHICH REQUIRE ERICOID MYCORRHIZAE.
 - SOIL PH: THE FUNGI IN THIS PRODUCT WERE CHOSEN BASED ON THEIR ABILITY TO SURVIVE AND COLONIZE PLANT ROOTS IN A PH RANGE OF 3 TO 9.
 - FUNGICIDES: THE USE OF CERTAIN FUNGICIDES CAN HAVE A DETRIMENTAL EFFECT ON THE INOCULATION PROGRAM. SOIL APPLICATION OF ANY FUNGICIDE IS NOT RECOMMENDED FOR TWO WEEKS AFTER APPLICATION.
 - OTHER PESTICIDES: HERBICIDES AND INSECTICIDES DO NOT NORMALLY INTERFERE WITH MYCORRHIZAL FUNGAL DEVELOPMENT, BUT MAY INHIBIT THE GROWTH OF SOME TREE AND SHRUB SPECIES IF NOT USED PROPERLY.

- HEALTHY START MACRO TABS 12-8-8**
- FERTILIZER TABLETS ARE PLACED IN THE UPPER 4 INCHES OF BACKFILL SOIL WHEN PLANTING TREES AND SHRUBS.
 - TABLETS ARE FORMULATED FOR SLOW-BIODEGRADATION AND LAST UP TO 2 YEARS AFTER PLANTING. TABLETS CONTAIN 12-8-8 NPK FERTILIZER, AS WELL AS A MINIMUM OF SEVEN PERCENT (7%) HUMIC ACID BY WEIGHT, MICROBIAL NUTRIENTS DERIVED FROM SEA KELP, PINEBYPRODUCTS, AND YUCCA SCHIDIGERA, AND A COMPLEMENT OF BENEFICIAL RHIZOSPHERE BACTERIA. THE STANDARD 21 GRAM TABLET IS SPECIFIED HERE. DIRECTIONS FOR USE: FOR PLANTING BALLED & BURGLAP (BB) TREES AND SHRUBS, MEASURE THE THICKNESS OF THE TRUNK AND USE ABOUT 1 TABLET (21-G) PER HALF-INCH. PLACE THE TABLETS DIRECTLY NEXT TO THE ROOT BALL, EVENLY DISTRIBUTED AROUND ITS PERIMETER, AT A DEPTH OF ABOUT 4 INCHES.

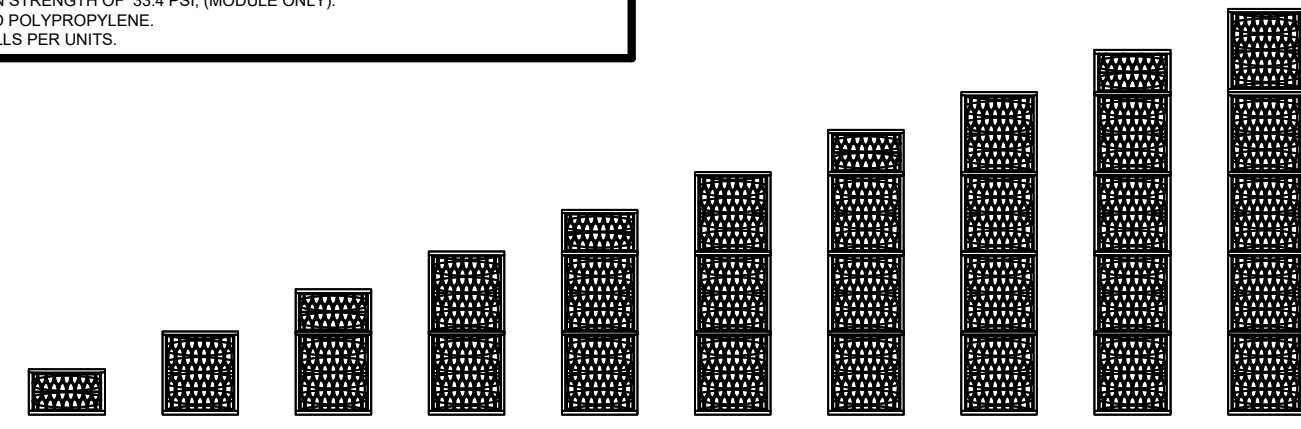


- PLAN SET CLASSIFICATION**
- PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT**
- BLOCK 32.4, LOT 71
TOWN OF SOUTH KINGSTOWN
WASHINGTON COUNTY, RHODE ISLAND
- PLANNING AND DESIGN: STONEFIELD engineering & design
- SCALE: AS SHOWN PROJECT ID: BOS-250053
- TITLE: LANDSCAPING DETAILS
- DRAWING: C-12

- GENERAL LANDSCAPING NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE DESIGNER, MUNICIPAL OFFICIALS, OR OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTALLED SHALL BE WITHIN THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY.
 - WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL.
 - IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURCHASING MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE DESIGNER OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED.
 - IF SAMPLES ARE REQUESTED, THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES,

R-TANK HD UNIT INFORMATION					
UNIT TYPE	WIDTH	LENGTH	HEIGHT	STORAGE VOLUME	WEIGHT
MINI	15.75"	28.15"	9.42"	2.32 CF	19.90 LBS.
SINGLE	15.75"	28.15"	17.52"	4.22 CF	37.30 LBS.
SINGLE-MINI	15.75"	28.15"	25.62"	6.33 CF	55.90 LBS.
DOUBLE	15.75"	28.15"	33.62"	8.25 CF	72.30 LBS.
DOUBLE-MINI	15.75"	28.15"	41.62"	10.28 CF	91.00 LBS.
TRIPLE	15.75"	28.15"	50.02"	12.28 CF	107.40 LBS.
TRIPLE-MINI	15.75"	28.15"	58.02"	14.30 CF	126.00 LBS.
QUAD	15.75"	28.15"	66.52"	16.31 CF	142.40 LBS.
QUAD-MINI	15.75"	28.15"	75.02"	18.42 CF	163.80 LBS.
PENTA	15.75"	28.15"	83.42"	20.54 CF	183.30 LBS.

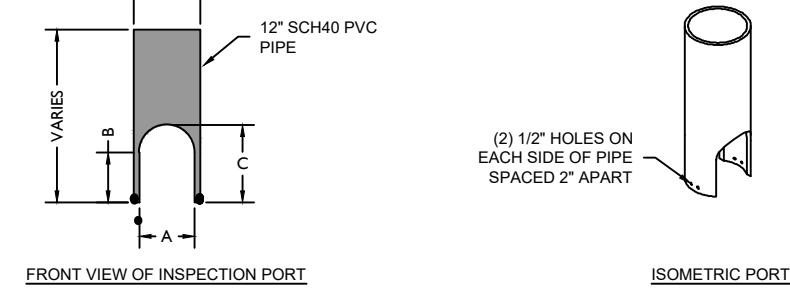
NOTES:
 1. R-TANK HD HAS AN INTERNAL VOID SPACE OF 95% AND A SURFACE AREA VOID OF 90%.
 2. R-TANK HD HAS A MAXIMUM COMPRESSION STRENGTH OF 33.4 PSI (MODULE ONLY).
 3. R-TANK HD IS MADE FROM 100% RECYCLED POLYPROPYLENE.
 4. R-TANK HD IS COMPOSED OF 5 SMALL WALLS PER UNIT.



R-TANK HD MODULE DETAIL
NOT TO SCALE

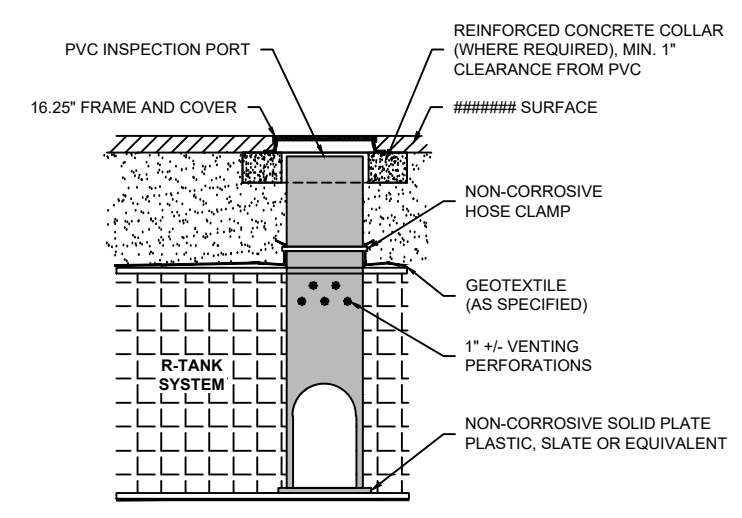
R-TANK INSPECTION PORT DIMENSIONS			
UNIT TYPE	DOGHOUSE BOTTOM WIDTH ("A")	DOGHOUSE VERTICAL LENGTH ("B")	DOGHOUSE OPENING HEIGHT ("C")
HD	10"	9"	14"
SD	10"	7"	8"
LD	8"	7"	12"
XD	10"	VARIES**	VARIES**

* PORTS ARE SUPPLIED WITH A STANDARD DOGHOUSE LENGTH OF 9". THE OPENING LENGTH SHALL BE REDUCED IN THE FIELD TO CORRESPOND WITH THE SPECIFIED PRODUCT TYPE.
 ** VERTICAL HEIGHTS VARY BASED ON THE STACKING HEIGHT OF THE X0 SYSTEM; THE TOP OF ANY OPENING SHOULD NOT EXCEED THE TOP OF THE STACK HEIGHT.

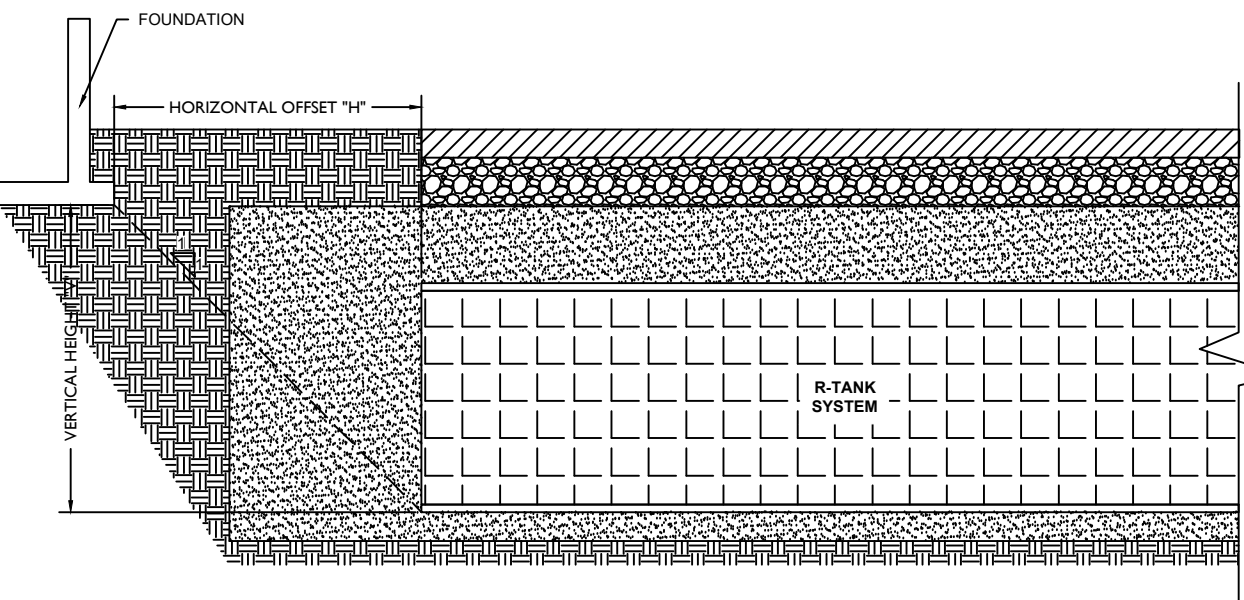


R-TANK INSPECTION AND MAINTENANCE PORT DETAIL
NOT TO SCALE

NOTES:
 1. THE INSPECTION PORT IS USED IN THE ACCESS MODULE TO INSPECT THE LEVEL OF SEDIMENT ACCUMULATION AND PERFORM ROUTINE MAINTENANCE.
 2. MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.
 3. R-TANK™, R-TANK™, R-TANK™ AND R-TANK™ MAY BE USED IN TRAFFIC APPLICATIONS. SEE TRAFFIC LOADING DETAIL FOR MINIMUM & MAXIMUM COVER REQUIREMENTS.
 4. IF INSPECTION PORT IS LOCATED IN A NON-TRAFFIC AREA, A PLASTIC CAP CAN BE USED IN LIEU OF A FRAME AND COVER WITH CONCRETE COLLAR.



R-TANK STRUCTURE PROXIMITY DETAIL
NOT TO SCALE



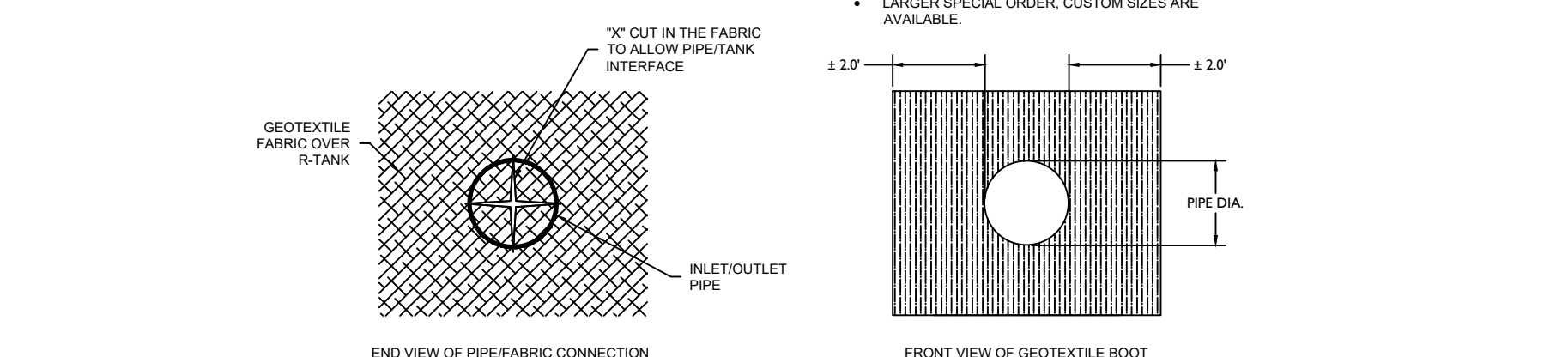
R-TANK IS NOT DESIGNED TO SUPPORT STRUCTURAL LOADS ASSOCIATED WITH BUILDINGS, RETAINING WALLS OR OTHER STRUCTURES. THE CIVIL ENGINEER AND STRUCTURAL ENGINEER SHALL REVIEW ALL DOCUMENTATION AND DESIGNS TO ENSURE NO STRUCTURAL LOADS ARE APPLIED BY THE STRUCTURE ON THE R-TANK UNITS. IT IS RECOMMENDED THAT ALL R-TANK UNITS BE INSTALLED ABOVE THE ELEVATION OF ANY SUBSURFACE STRUCTURAL ELEMENTS SUCH AS FOOTERS. IF THIS CANNOT BE ACHIEVED, IT IS RECOMMENDED THAT A MINIMUM 1:1 ZONE OF INFLUENCE, SITE SPECIFIC SOILS MAY REQUIRE GREATER SEPARATION DISTANCE, BE MAINTAINED BETWEEN THE STRUCTURAL ELEMENT AND THE UNITS. THE STRUCTURAL ENGINEER AND GEOTECHNICAL ENGINEER SHALL REVIEW ALL DOCUMENTATION AND DESIGNS TO ENSURE PROPER STABILITY OF STRUCTURAL ELEMENTS DURING SATURATED SOIL CONDITIONS POTENTIALLY CAUSED BY THE PROXIMITY OF INFILTRATION FACILITIES TO THE STRUCTURAL ELEMENTS.

NOTES:
 1. INSTALLATIONS PER THIS DETAIL MEET GUIDELINES OF HL-93 LOADING PER THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS.
 2. FOR INFILTRATION APPLICATIONS, UNCOMPACTED FREE DRAINING BACKFILL (SPEC SECTION 2.03A) TO PROVIDE A LEVEL BASE. SURFACE MUST BE SMOOTH, FREE OF LUMPS OR DEBRIS, AND EXTEND 2 BEYOND R-TANK FOOTPRINT. THE ENGINEER OF RECORD IS RESPONSIBLE FOR ASSESSING THE BEARING CAPACITY OF THE SUBGRADE AND BASE.
 3. FOR INSTALLATIONS IN LANDSCAPED AREAS, THE INSTALLATION OF TREES IS PROHIBITED ABOVE THE R-TANK UNITS. PLEASE CONTACT YOUR LOCAL JURISDICTION FOR REPRESENTATIVE FOR MORE INFORMATION.
 4. THE R-TANK SYSTEM IS NOT DESIGNED TO SUPPORT LOADS FROM BUILDINGS OR STRUCTURES. THEREFORE, THE ENGINEER OF RECORD MUST COORDINATE WITH THE PROPER DISCIPLINES TO ENSURE NO STRUCTURAL LOADS ARE IMPARTED UPON THE SYSTEM AND ANY INFILTRATION FROM THE SYSTEM HAS BEEN ACCOUNTED FOR IN THE FOUNDATION DESIGN.

R-TANK UNIT LOAD RATING				
UNIT TYPE	COMPRESSION STRENGTH	NON-VEHICULAR MIN. COVER*	HS-20 MIN. COVER*	HS-25 MIN. COVER*
HD	33.0 PSI	12"	20"	24"
SD	42.0 PSI	12"	18"	21"

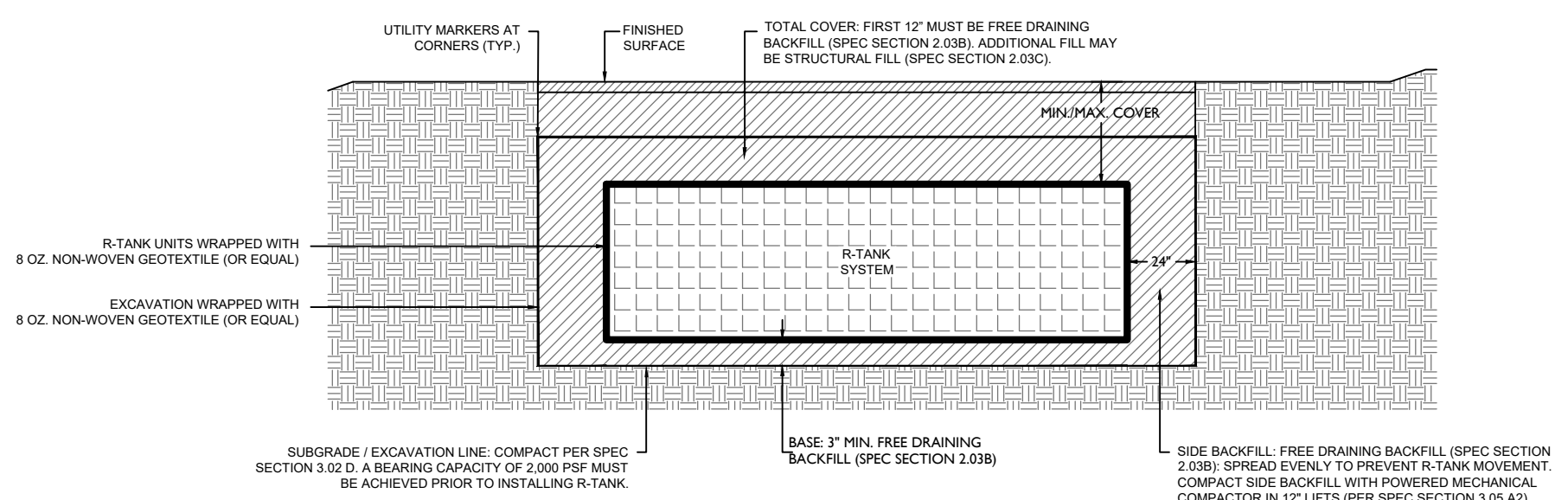
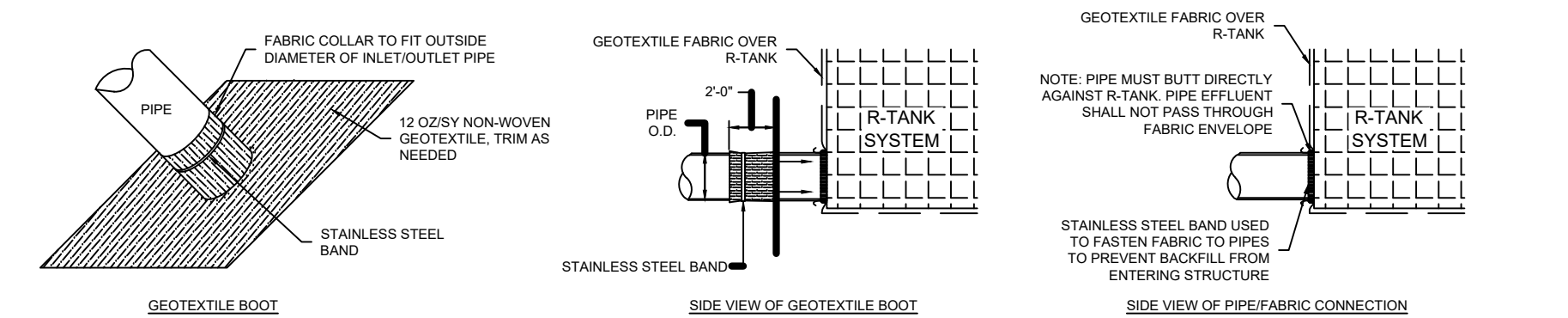
* MINIMUM AND MAXIMUM COVER ARE MEASURED FROM THE TOP OF THE R-TANK UNIT TO THE TOP OF THE FINISHED SURFACE.

CUT AN "X" IN THE FABRIC ENVELOPE THAT IS SLIGHTLY LARGER THAN THE PIPE. FILL THE FABRIC FLAPS AROUND THE PIPE, AND SEAL WITH A STAINLESS STEEL BAND.



R-TANK INLET/OUTLET PIPE BOOT DETAIL
NOT TO SCALE

AFTER TANK WRAP IS SECURED TO PIPE, SLIDE BOOT AGAINST R-TANK AND SECURE WITH SECOND STAINLESS STEEL BAND, THEN ATTACH BOOT FLAP TO TANK ENVELOPE FABRIC WITH DUCT TAPE OR OTHER ADHESIVE.



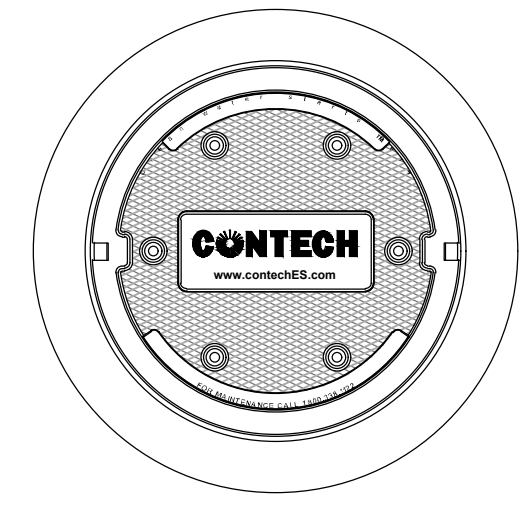
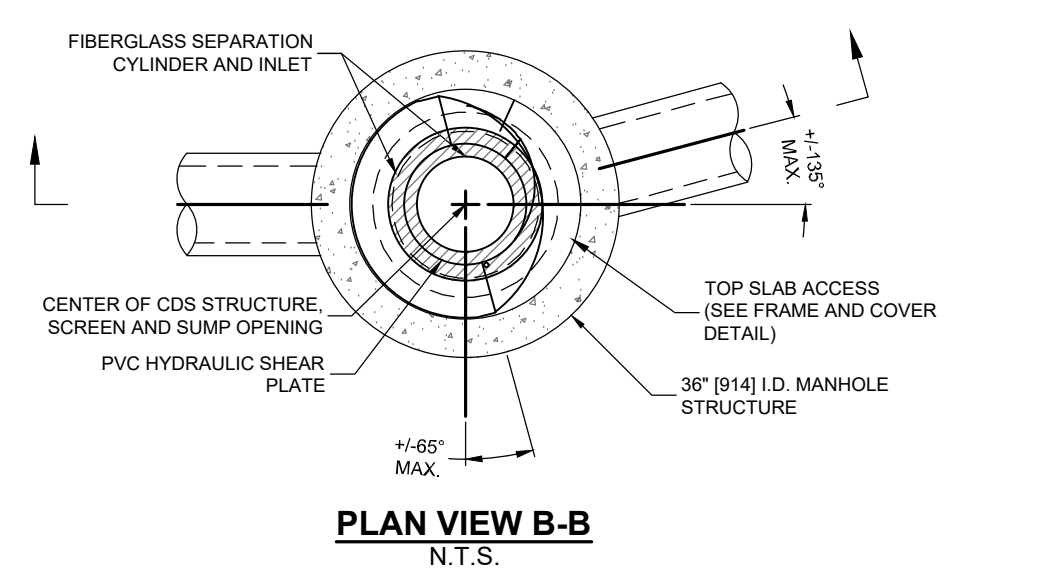
R-TANK NON-VEHICULAR SECTION VIEW
NOT TO SCALE

CDS 1515-3-C DESIGN NOTES
 CDS 1515-3-C RATED TREATMENT CAPACITY IS 1.0 CFS, OR PER LOCAL REGULATIONS.
 THE STANDARD CDS 1515-3-C CONFIGURATION IS SHOWN.

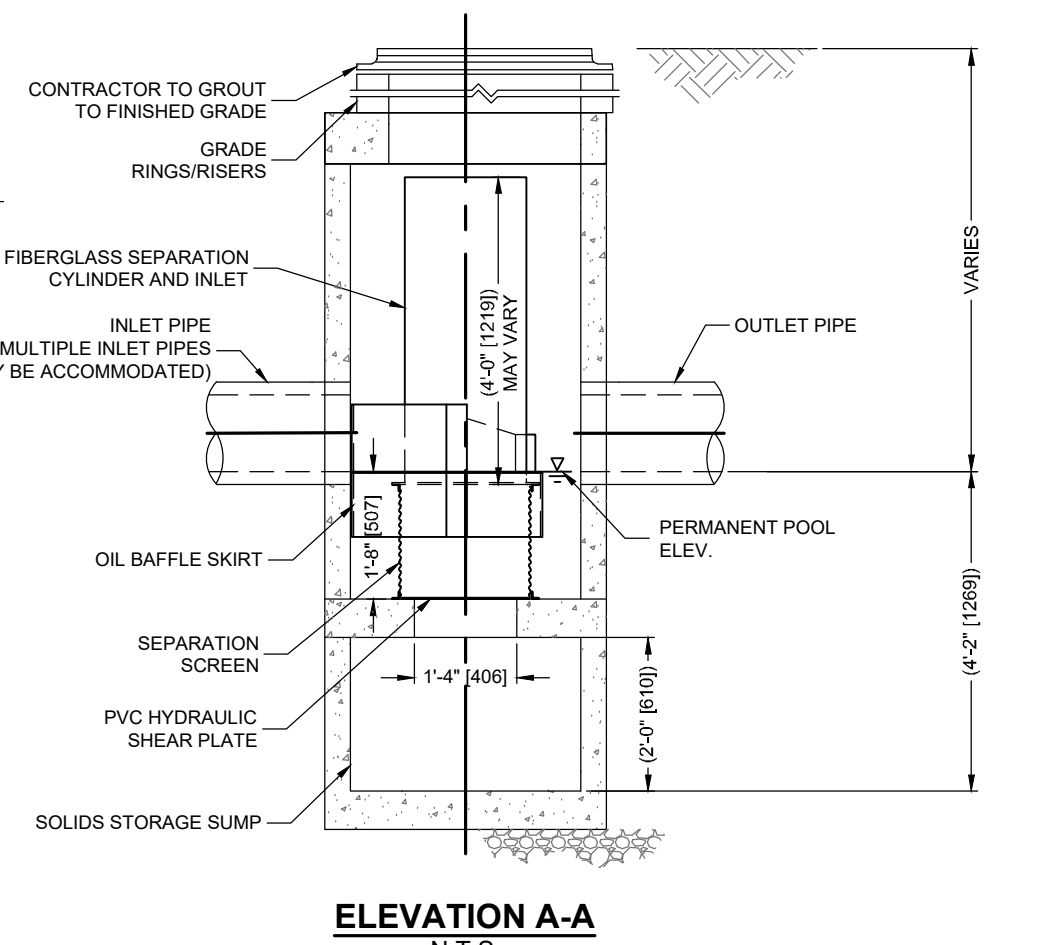
GENERAL NOTES:
 1. CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
 2. FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. www.contechES.com
 3. CDS WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
 4. STRUCTURE SHALL MEET AASHTO HS20 LOAD RATING, ASSUMING EARTH COVER OF 0' - 2', AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M306 AND BE CAST WITH THE CONTECH LOGO.
 5. IF REQUIRED, PVC HYDRAULIC SHEAR PLATE IS PLACED ON SHELF AT BOTTOM OF SCREEN CYLINDER. REMOVE AND REPLACE AS NECESSARY DURING MAINTENANCE CLEANING.
 6. CDS STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-478 AND AASHTO LOAD FACTOR DESIGN METHOD.

INSTALLATION NOTES:
 A. ANY SUB-BASE, BACKFILL, DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
 B. CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CDS MANHOLE STRUCTURE.
 C. CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE.
 D. CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
 E. CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

SITE SPECIFIC DATA REQUIREMENTS			
STRUCTURE ID			
WATER QUALITY FLOW RATE (CFS OR L/s)			
PEAK FLOW RATE (CFS OR L/s)			
RETURN PERIOD OF PEAK FLOW (YRS)			
SCREEN APERTURE (2400 OR 4700)			
PIPE DATA	I.E.	MATERIAL	DIAMETER
INLET PIPE 1			
INLET PIPE 2			
OUTLET PIPE			
RIM ELEVATION			
ANTI-FLOTATION BALLAST	WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:			
* PER ENGINEER OF RECORD			



FRAME AND COVER (DIAMETER VARIES)
N.T.S.



WATER QUALITY UNIT DETAIL
NOT TO SCALE



CDS1515-3-C
ONLINE CDS
STANDARD DETAIL

NO.	DATE	ISSUE	BY	DESCRIPTION
00	12/05/2025	ISSUE		FOR MUNICIPAL SUBMISSION

NOT APPROVED FOR CONSTRUCTION

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 www.stonefielddesign.com

56 Pine Street, Providence, Rhode Island
 Phone 617.203.2076

PLAN SET CLASSIFICATION

PROPOSED MULTI-HOUSEHOLD LAND DEVELOPMENT PROJECT

BLOCK 32.4, LOT 71
 TOWN OF SOUTH KINGSTOWN
 WASHINGTON COUNTY, RHODE ISLAND

JOSHUA HENRY KLINE
 No. 13607
 PROFESSIONAL ENGINEER
 CIVIL

JOSHUA H. KLINE, P.E.
 RHODE ISLAND LICENSE No. 13607
 LICENSED PROFESSIONAL ENGINEER

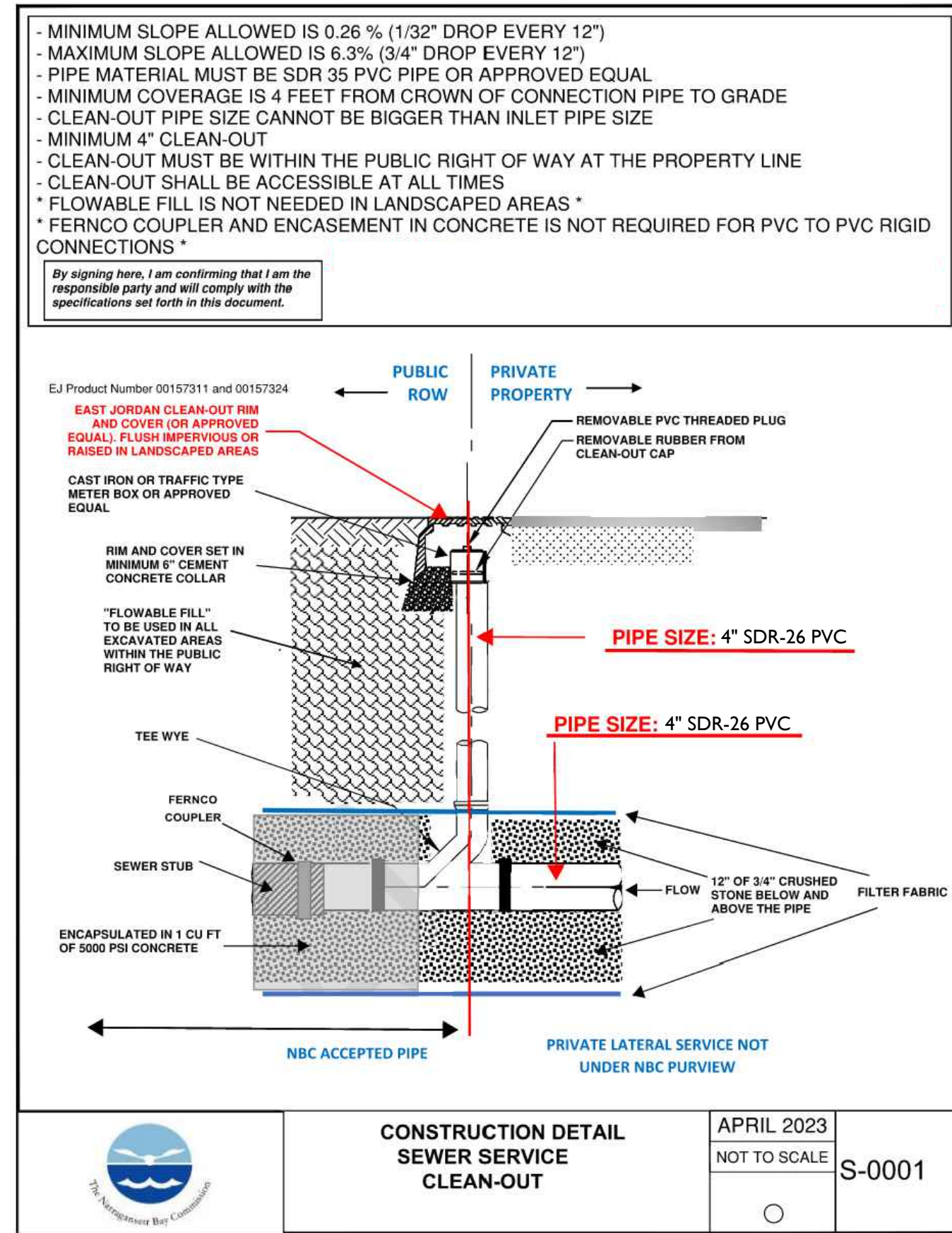
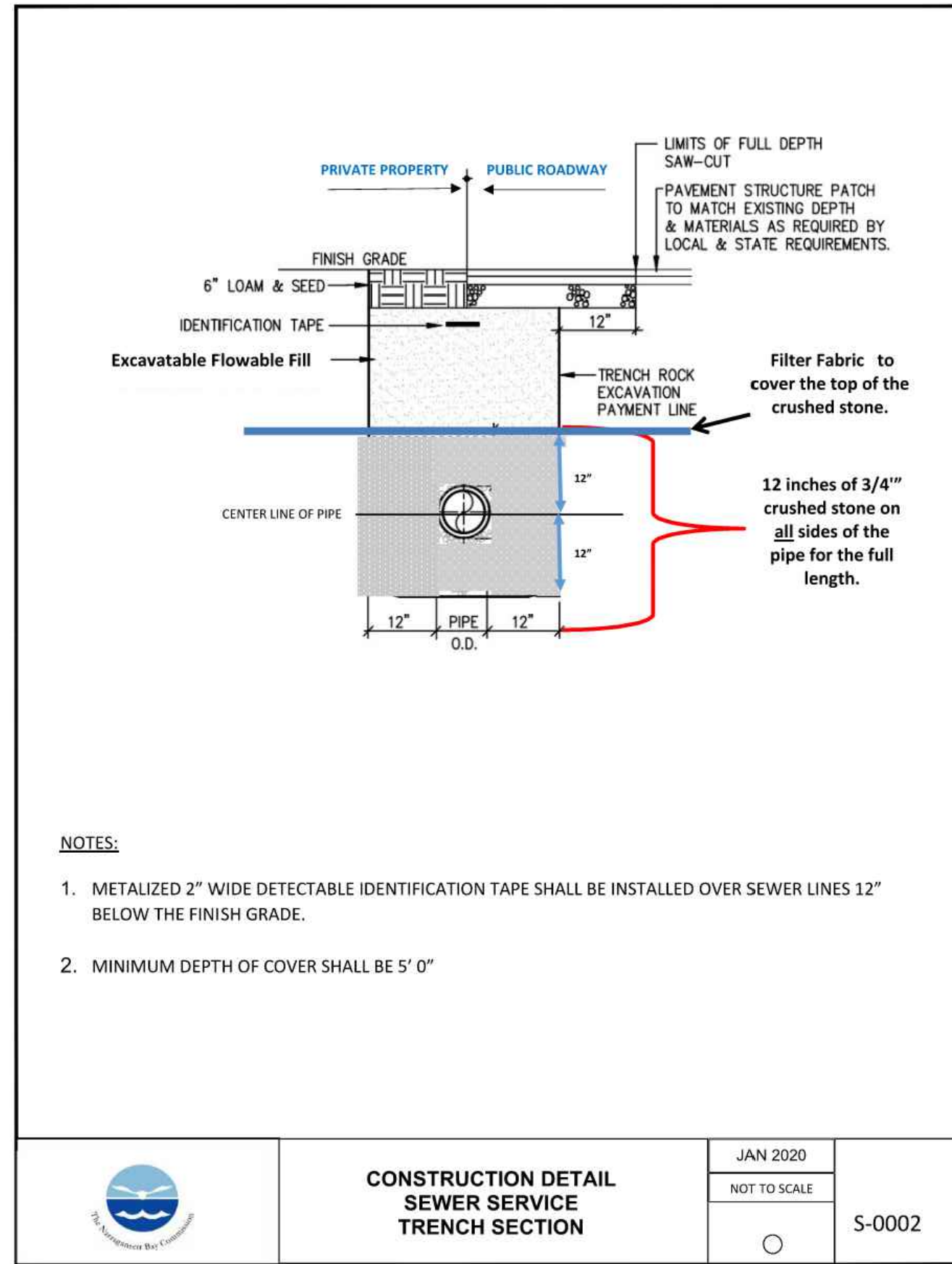
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engineering & design

SCALE: AS SHOWN PROJECT ID: BOS-250053

TITLE:
CONSTRUCTION DETAILS

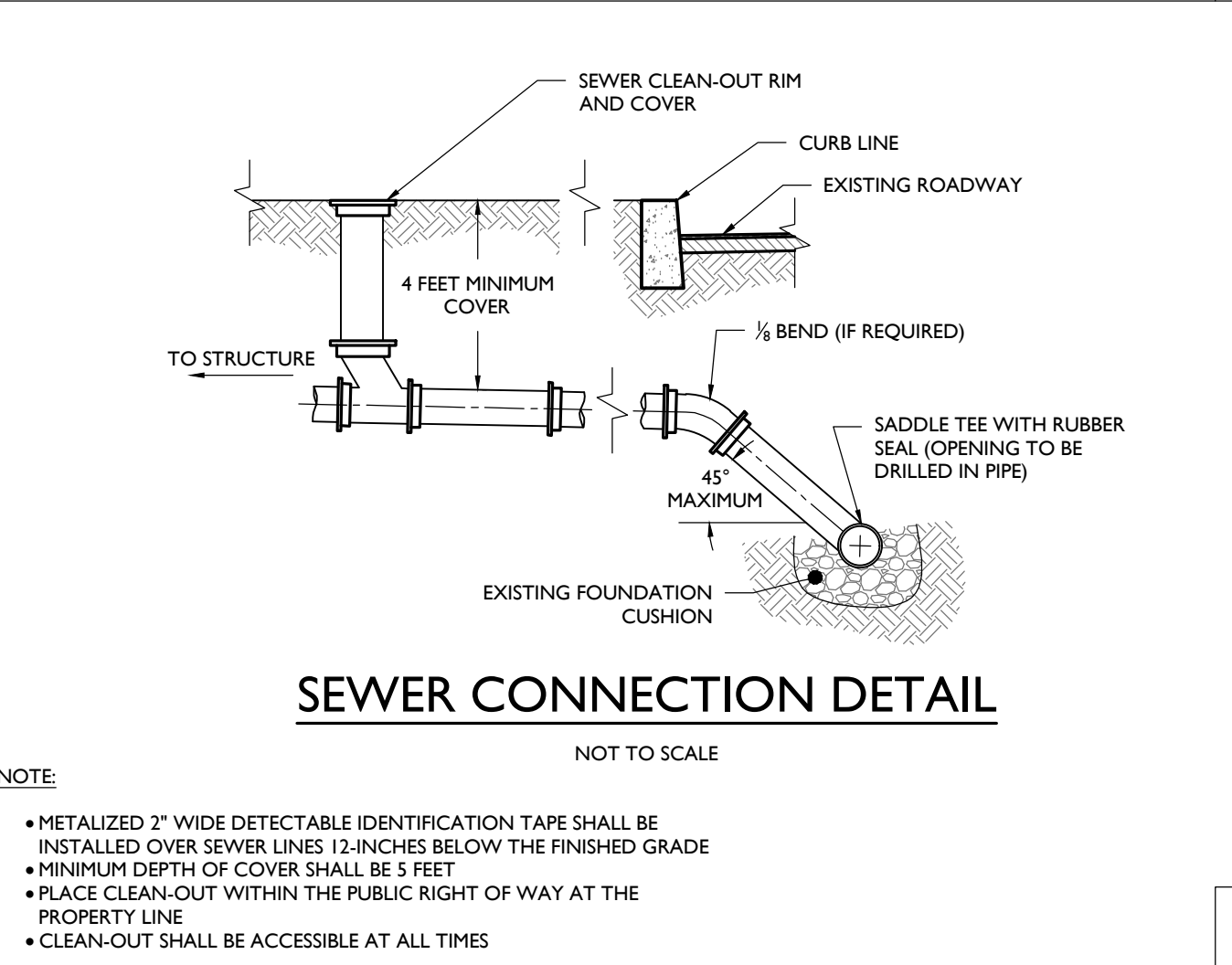
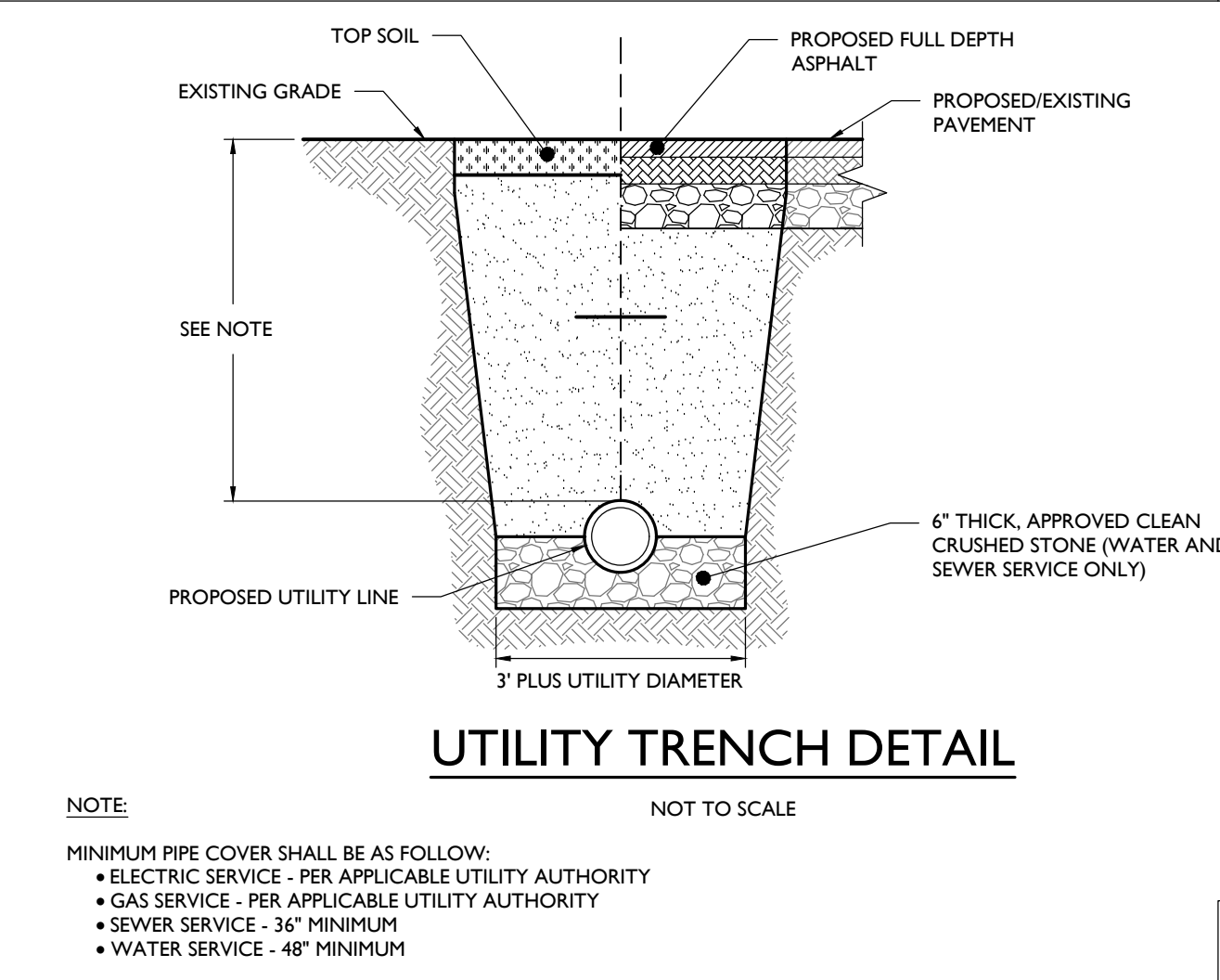
DRAWING:
C-14

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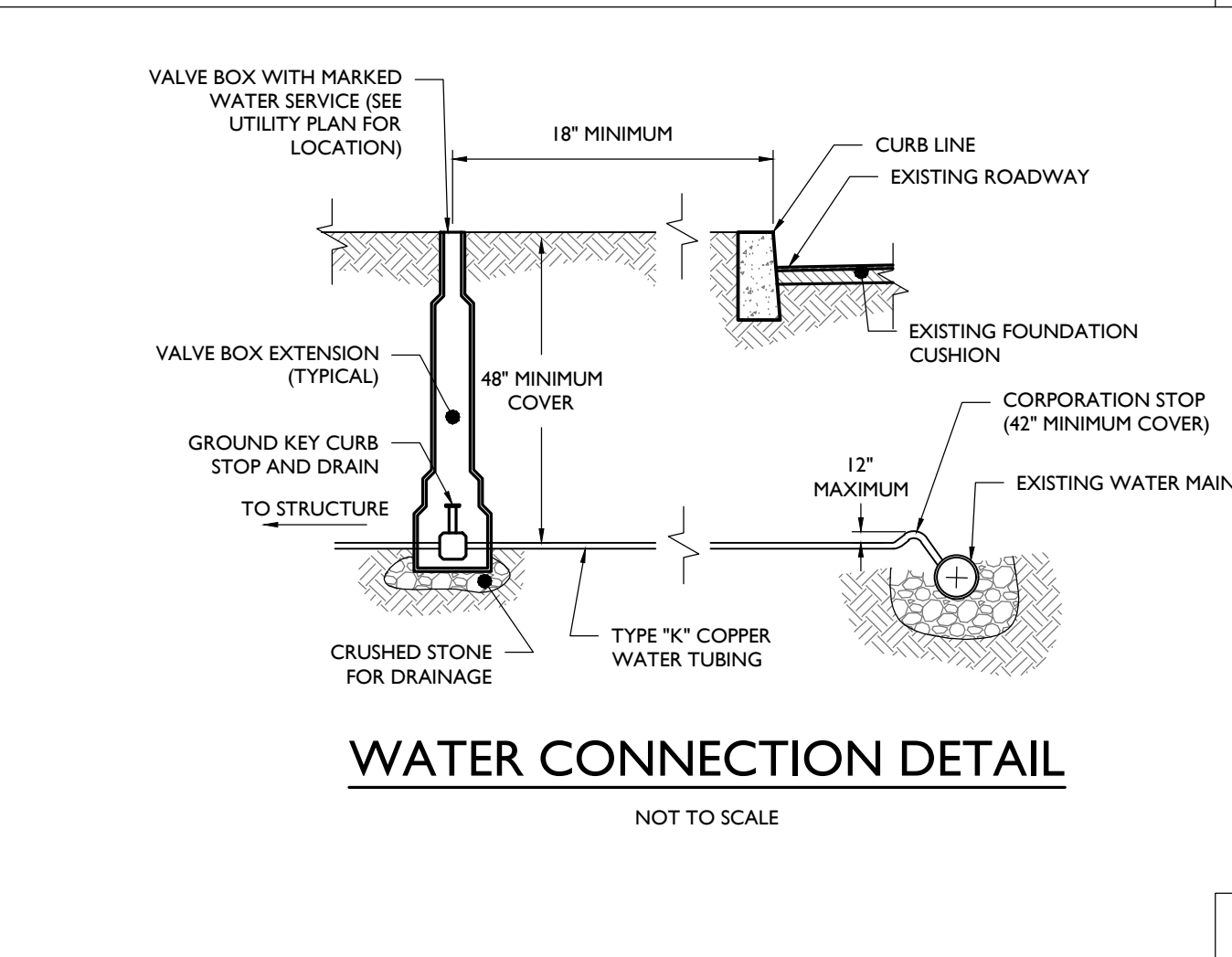
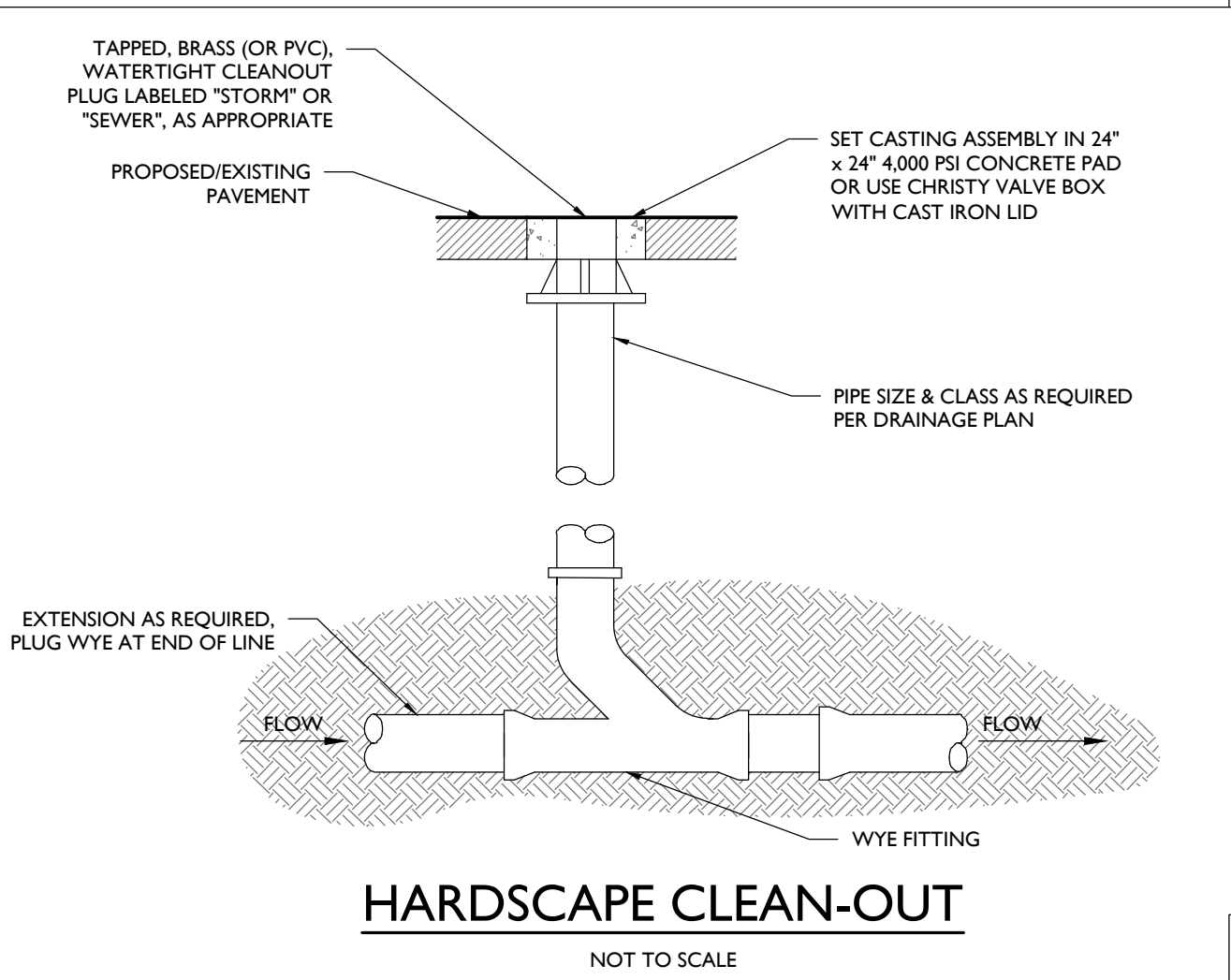
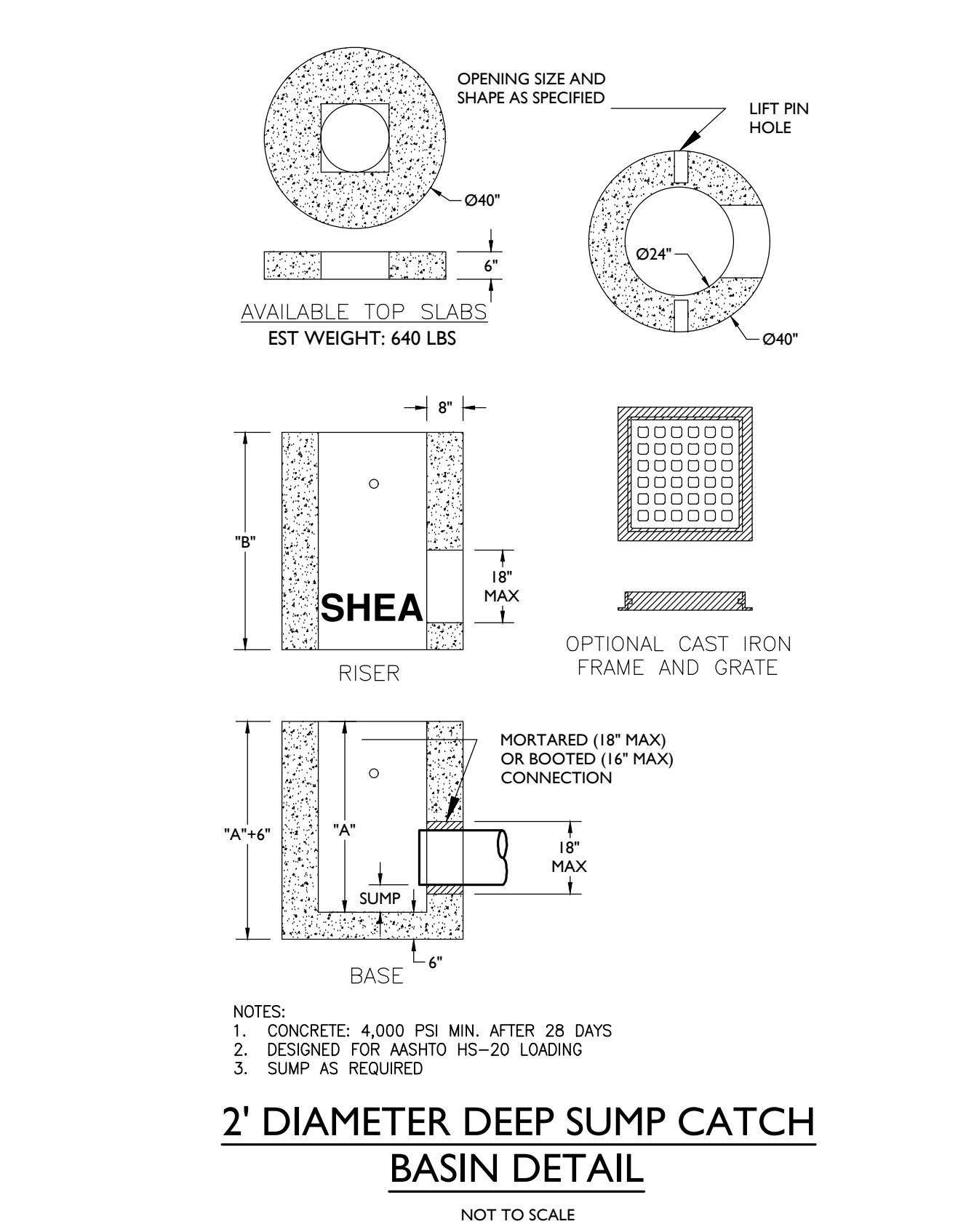


1573 CLEANOUT/MONUMENT BOX FRAME DETAIL
 NOT TO SCALE

1573A CLEANOUT/MONUMENT BOX COVER DETAIL
 NOT TO SCALE



RISER WEIGHTS			SUMP WEIGHTS		
ITEM CODE	DIM "B"	EST. WEIGHT	ITEM CODE	DIM "A"	EST. WEIGHT
40X12-24	12"	825#	18SGI	18"	1,880#
DIR-24X18	18"	1,235#	24SGI	24"	2,290#
DIR-24X24	24"	1,645#	30SGI	30"	2,700#
DIR-24X30	30"	2,055#	36SGI	36"	3,110#
DIR-24X36	36"	2,470#	42SGI	42"	3,520#
DIR-24X42	42"	2,880#	48SGI	48"	3,930#
DIR-24X48	48"	3,290#	54SGI	54"	4,343#
DIR-24X54	54"	3,700#			
DIR-24X60	60"	4,115#			



2' DIAMETER DEEP SUMP CATCH BASIN DETAIL
 NOT TO SCALE

NO.	DATE	ISSUE	BY	DESCRIPTION
00	12/08/2023	ISSUE		FOR MUNICIPAL SUBMISSION

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SCALE: AS SHOWN PROJECT ID: BOS-250053

TITLE:
CONSTRUCTION DETAILS

DRAWING:
C-15

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