



TOWN OF SOUTH KINGSTOWN  
ZONING BOARD OF REVIEW APPLICATION



1. APPLICANT INFORMATION:

Applicant Name: Emily + CRAIG TOTTEN Name of Primary Contact if Organization: \_\_\_\_\_  
 Applicant Address: 900 TUCKERTOWN Rd., WAKEFIELD, RI 02879  
 Applicant Phone: 401 479 1035 Applicant Email: emilytotten@gmail.com

2. OWNER INFORMATION:

Owner Name: PENNINGTON PARTNERS / RANDOLPH TOTTEN Owner Phone: 401.847.5404  
 Owner Address: 8 SYLVAN ST. NEWPORT, RI 02840

3. PROJECT INFORMATION:

Physical Address: 900 TUCKERTOWN Assessor's Plat: 61 Assessors' Lot: 67 Zoning District: R200  
 Required Zoning Setbacks: Front yard 58' Rear Yard 20' Side Yard Right 20' Side Yard Left 20' Corner Side Yard N/A

4. APPLICATION FOR:

Special Use Permit  Dimensional Variance \_\_\_\_\_ Use Variance \_\_\_\_\_ Dimensional Modification by Zoning Officer \_\_\_\_\_

5. LOT SPECIFICATIONS:

Lot Frontage: 300 + ft. Lot Depth: 400 + ft. Lot Area: 5.04 ft.

6. USE OF PREMISES:

Present Use: Residential # of families: 1 Proposed Use: Accessory Apartment # of families: 1

7. EXISTING STRUCTURES:

Number of Existing Buildings or Structures Present: 1 Residential dwelling

Size of Existing Structures: 936 sf; \_\_\_\_\_ sf; \_\_\_\_\_ sf; \_\_\_\_\_ sf

Distance from Property Lines of Existing Structures:

	Structure 1	Structure 2	Structure 3	Structure 4
Front Yard:	<u>402.9</u> ft.;	_____ ft.;	_____ ft.;	_____ ft.
Rear Yard:	<u>179.9</u> ft.;	_____ ft.;	_____ ft.;	_____ ft.
Side Yard Right:	<u>243.4</u> ft.;	_____ ft.;	_____ ft.;	_____ ft.
Side Yard Left:	<u>104.8</u> ft.;	_____ ft.;	_____ ft.;	_____ ft.
Corner Side Yard:	<u>N/A</u> ft.;	_____ ft.;	_____ ft.;	_____ ft.

8. WATER AND SOLID WASTE

Water: Town Water  Well \_\_\_\_\_ Other \_\_\_\_\_  
 Waste: Town Sewer \_\_\_\_\_ Septic  Other \_\_\_\_\_

9. SIZE OF PROPOSED BUILDINGS/ADDITIONS:

Total Square Feet: 750 sf. Width: 25 sf. Length: 30 sf.  
Height Above Grade: 20 ft. Number of Stories: 1.5

10. IF DIMENSIONAL RELIEF IS SOUGHT INDICATE THE DISTANCE REQUESTED:

Front Yard: N/A Rear: \_\_\_\_\_ Side Yard Right: \_\_\_\_\_  
Side Yard Left: \_\_\_\_\_ Corner Side Yard: \_\_\_\_\_ Height: \_\_\_\_\_

11. PROVISION OF THE ZONING ORDINANCE FROM WHICH RELIEF IS SOUGHT:

Section and Use (if known): SECTION 503.2 C E

12. DESCRIBE THE EXTENT OF PROPOSED ALTERATIONS, STATE REASONS WHY YOU ARE REQUESTING RELIEF:

The Accessory Apartment is only allowed in R200 Zone with a Special Use Permit.

We are requesting a 750 Sq. Ft. Accessory Apartment dwelling with additional finished storage in loft and basement. We may add plumbing in the basement for an extra toilet.

The covered front entry, including the exterior steps, is an additional 69 sq.ft. This allows an extra person to assist elderly up the steps, helps with wheelchair accessibility into the dwelling with adequate space to add a ramped entrance, if needed, at a later date. Our senior parents will be living in the Accessory Dwelling.

ZONING BOARD OF REVIEW RULES OF PROCEDURE ITEM K: "Reports from expert witnesses should be submitted with the application or ten (10) days prior to the hearing to give the Zoning Board sufficient review time. If a report is submitted at the time of the hearing, the Chairman may rule on whether the Zoning Board will continue to another meeting to give the Zoning Board time to review the reports."

Preparation of this Application and all necessary documentation is the sole responsibility of the Applicant. Town Staff's help in preparations of any facet of this applications, including abutter's list is for assistance only. The staff cannot give the applicant advice on the merits of the application nor can they render legal opinions.

The undersigned declares that the information given herein is a true statement to the best of his/her knowledge and belief.

Applicant Signature(s) Emily Totten

Applicant(s) Printed Name Emily Totten Date: 12-16-21

Attorney / Other (If applicable) \_\_\_\_\_ Date: \_\_\_\_\_

Office Use Only

Received By: \_\_\_\_\_ Payment Amt. \_\_\_\_\_ Check # \_\_\_\_\_ Legal Notice Mailed: \_\_\_\_\_ Cert. Receipts Received: \_\_\_\_\_

OWNER/AUTHORIZED AGENT AUTHORIZATION FORM

Submittal Date: 12/16/21

The Owner/Authorized Agent Authorization Form must be completed in full and returned to the Office of the Building and Zoning Official for the Town of South Kingstown along with the Zoning Board of Review Application. Failure to submit this form will delay your application being processed.

I, RANDOLPH TOTEN <sup>MANAGING member, PENNINGTON PARTNERS LLC</sup> hereby certify that I am the owner / authorized agent of the property designated as Plat 61, Lot 67, as shown on the Town of South Kingstown Tax Assessor Maps. I further certify that I am the owner / authorized agent of the developmental rights for this property.

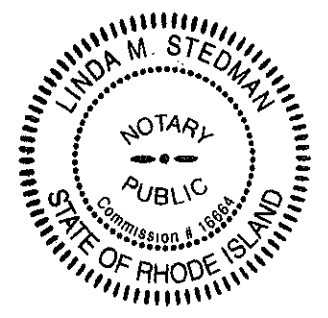
I hereby authorize and am in agreement with the application signed by Emily Totten (applicant), for the requested relief or use of the subject property. Said application is to be submitted to the Office of the Building and Zoning Official of the Town of South Kingstown for review and decision by the Zoning Board of Review.

Witness its name this 10th day of December, 2021.

By: [Signature]  
Signature of Owner/Authorized Agent

STATE OF RHODE ISLAND  
County of Washington

In South Kingstown on the 10th day of December, 2021, before me personally appeared Randolph TOTTEN (name) to me known and known by me to the party executing the foregoing instrument and acknowledged said instrument, by him/her executed to be his/her free act and deed, as individual (individual, corporation, trustee, partnership, non-profit, etc.)



Notary Public: [Signature]  
My Commission Expires: 6-28-2025

Notary Seal:

REM_MBLI	REM_MBLI_LOCATION	SLH_OWN_NAME	SLH_CO_O	SLH_OWN_SLH_OWN_CSZ	LLDMS_X
✓62	18 777 TUCKERTOWN ROAD	TUCKER, SHIRLEY J	null	777 TUCKE null	WAKEFIELI -71.5417
✓61	12 817 TUCKERTOWN ROAD	PESANTE, DEAN A & NANCY E	null	817 TUCKE null	WAKEFIELI -71.5443
✓61	13 859 TUCKERTOWN ROAD	MARR ANDREW J &	VERRECCH	859 TUCKE null	WAKEFIELI -71.5457
✓62	1 802 TUCKERTOWN ROAD	TUCKER FAMILY, LLC	null	777 TUCKE null	WAKEFIELI -71.5407
✓61	11 TUCKERTOWN ROAD	PENNINGTON PARTNERS LLC	null	8 SYLVAN s null	NEWPORT, -71.5434
✓61	65 900 TUCKERTOWN ROAD	PENNINGTON PARTNERS LLC	null	8 SYLVAN s null	NEWPORT, -71.5445
✓61	67 900 TUCKERTOWN ROAD	PENNINGTON PARTNERS LLC	null	8 SYLVAN s null	NEWPORT, -71.5449
✓61	10 TUCKERTOWN ROAD	SOUTH KINGSTOWN LAND TRUST	null	17 MATUN null	WAKEFIELI -71.5431



Washington County, Rhode Island

Horizontal Datum is Rhode Island State  
Plane Feet, MAD83.

1 inch = 752 feet



radius map

Parcel Boundaries not legally binding for  
title or zoning purposes.

The Town of South Kingstown makes no  
warranty as to the accuracy, reliability, or  
completeness of the information and is not  
responsible for any errors or omissions for  
results obtained from the use of the  
information.

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I hereby authorize and am in agreement with the application signed by Emily Totten (applicant), for the requested relief or use of the subject property. Said application is to be submitted to the Office of the Building and Zoning Official of the Town of South Kingstown for review and decision by the Zoning Board of Review.

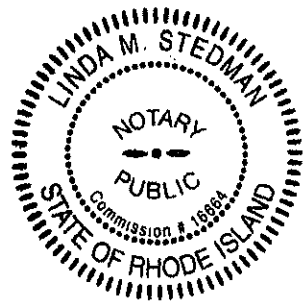
Witness its name this 10th day of December, 2021.

By: [Signature]  
Signature of Owner/Authorized Agent

STATE OF RHODE ISLAND

County of Washington

In South Kingstown on the 10th day of December, 2021, before me personally appeared Randolph TOTTEN (name) to me known and known by me to the party executing the foregoing instrument and acknowledged said instrument, by him/her executed to be his/her free act and deed, as individual (individual, corporation, trustee, partnership, non-profit, etc.)



Notary Public: [Signature]

My Commission Expires: 6-28-2025

Notary Seal:

# Accessory Dwelling Plans:

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Prepared For:

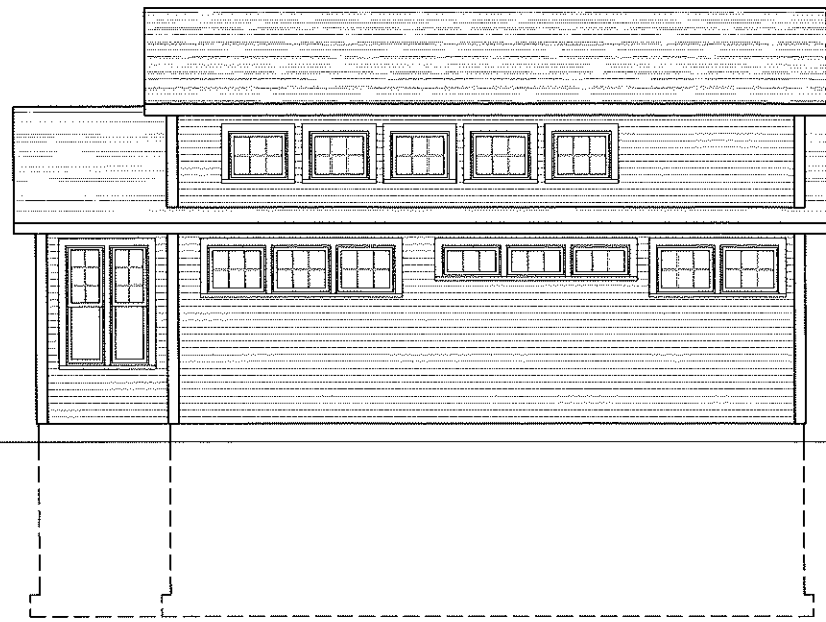
Pennington Partners, LLC

900 Tuckertown Road

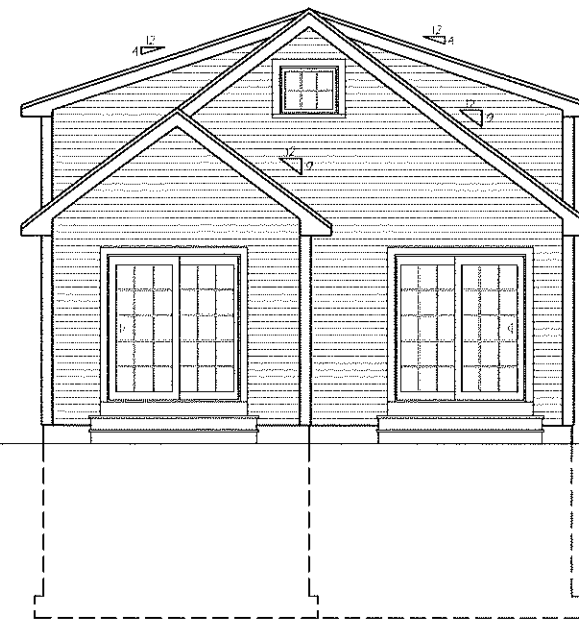
South Kingstown, Rhode Island

## Drawing Index:

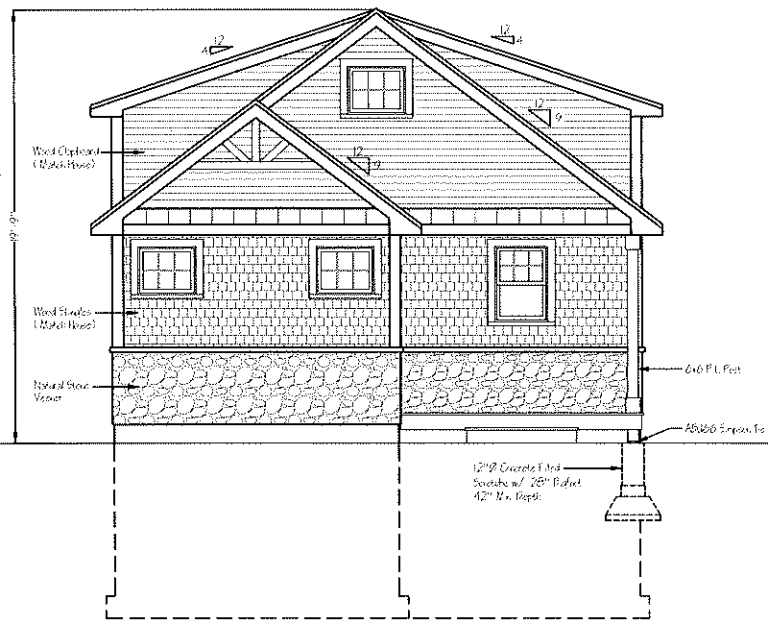
Sheet No.	Title:
1	Elevation Views
2	Foundation & Floor Plans
3	Section View & Details
4	Shearwall Notes & Details



Left Side Elevation View  
Scale: 1/4"=1'-0"



Rear Elevation View  
Scale: 1/4"=1'-0"



Front Elevation View  
Scale: 1/4"=1'-0"



Right Side Elevation View  
Scale: 1/4"=1'-0"

Accessory Dwelling Plans:  
Pennington Partners, LLC  
900 Tuckertown Road  
South Kingstown, Rhode Island  
Elevation Views

Title:

Note:  
All Construction Shall Comply  
With The International Building  
Codes, Current Edition

Revisions:

Project No.  
21411

Date:  
August 27, 2021

Scale:  
1/4"=1'-0"

Sheet No.

A1

Sheet 1 of 4



**L202 Roofs**

L202.1 Scope. The following applies to structures conventionally framed or to truss-type roofs.

L202.2 Roof Sheathing. Roof sheathing shall be not less than 7/16" finished thickness.

L202.3 Roof Nailing. Roof attachment shall be accompanied with minimum 8d nails as follows:  
 In the 4 foot perimeter edge zone along the edge: 6" o.c.  
 To the intermediate supports within 4 foot perimeter edge zone: 6" o.c. along the gable end wall or rake: 4" o.c.  
 All other areas: 6" o.c. edge, 12" o.c. intermediate

All sheathing edges within the 4 foot perimeter edge zone shall be blocked with 2x3 minimum edgewise including the ridge line and soffit / fascia area. Provision for ventilation air shall be maintained.

L202.4 Ridge Straps. Ridge straps 1-1/4"x20 gauge shall be attached to each pair of opposing rafters with 5-8d nails at each end into the framing member. Exceptions:

Ridge straps are not required when collar ties of nominal 1x6 or 2x4 lumber are located within the upper third of the attic space and attached to each rafter with 3-10d nails.

Trusses without framed ridge connection.  
 Plywood gussets of equivalent crosssection.  
 Other engineered connections.

At hips, straps shall be installed so each hip jack is connected across the hip line with at least 1-8d into an opposite framing member.

L202.5 Rake and Eave Overhangs. Overhangs shall be limited to 24". Ladder style rake overhangs attached to the gable end walls shall be limited to 12". Cantilevered rake overhangs at gable end walls shall be limited to 24".

L202.6 Roof Assembly to Wall Assembly. A design wind load suction of 25 psf shall be used in conjunction with Table R602.11 to establish the required strength of rafter tie-down connections to withstand wind uplift forces. Exceptions: Roof truss to wall connection shall be designed to withstand either the load requirements of Table R602.11 or the connection loads indicated on the truss design shop drawings, whichever is greater.

L203.1 Wall Sheathing. Wall sheathing shall be a minimum 7/16" structural panel. Nailing shall be in accordance with Table R602.3(1) and the following:

1. At the top plate or plates, the sheathing shall extend from the top of the top plate to a minimum of 16" beyond the stud-to-bottom of the top plate connection. A minimum of 4 nails shall be used at each stud fastening, and edge-nailed to each plate at 6" o.c.  
 Alternate: Prefabricated and pre-engineered connection straps approved by the Building Official.

2. If the studs are not continuous to the foundation plate such as at an intermediate floor, the wall sheathing shall be continuous and uninterrupted for a distance of 16" beyond from top of bottom wall plate to 16" beyond bottom of bottom wall top plate below, with a minimum of 4 nails at each stud, and field-nailed at 6" o.c. to floor joist header framing.  
 Alternate: Prefabricated pre-engineered connection anchors or fasteners approved by the Building Official.

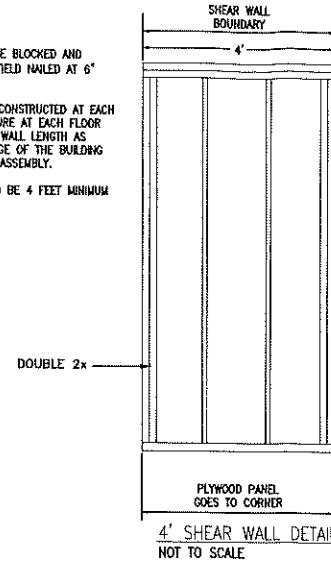
3. At the bottom of the wall assembly to the foundation sill plate, the wall sheathing shall be continuous from a point 16" above the top of the bottom wall plate to the bottom of the foundation sill, with a minimum of 4 nails at each stud, 6" field nailed and edge nailed to the foundation sill plate at 6" o.c.  
 Alternate: Prefabricated pre-engineered connection anchors or fasteners approved by the Building Official.

L203.2 Shear Walls. A 4' segment of wall sheathing shall be designated as a shear wall at each corner of the structure at each floor, and every 24' maximum of wall length. The following additional requirements apply:

1. No openings are permitted within this 4' section.  
 Exception: Window openings are allowed no closer than 2' to corner providing the length of that shear panel is increased to 8'.
2. All edges shall be blocked and nailed at 6" o.c., and field nailed at 6" o.c.
3. Studs shall be doubled at each end of the shear wall panel.

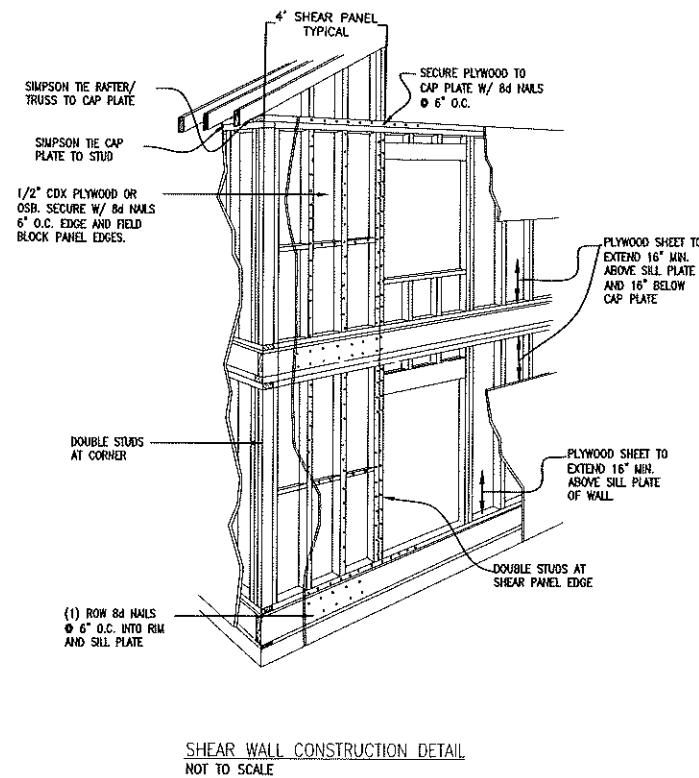
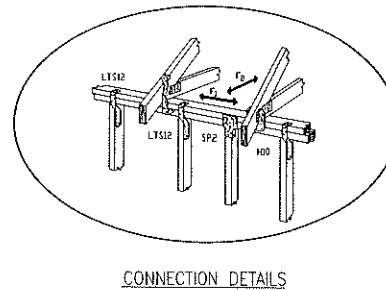
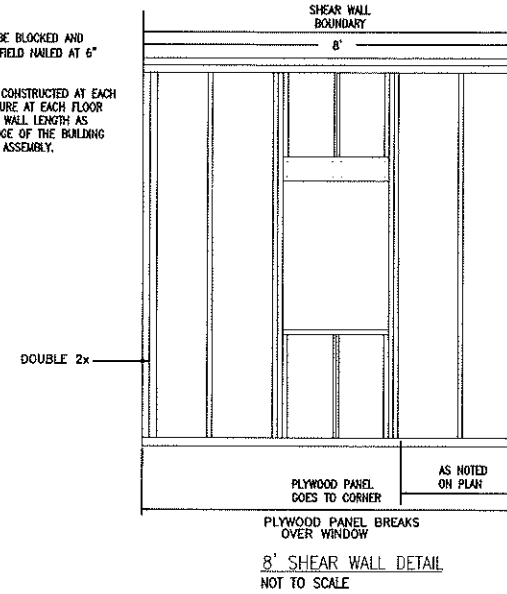
**GENERAL NOTES:**

1. PLYWOOD EDGES TO BE BLOCKED AND NAILED AT 6" O.C. AND FIELD NAILED AT 6" O.C.
2. SHEAR WALLS TO BE CONSTRUCTED AT EACH CORNER OF THE STRUCTURE AT EACH FLOOR AND EVERY 24'-FEET OF WALL LENGTH AS MEASURED FROM THE EDGE OF THE BUILDING TO THE CENTER OF THE ASSEMBLY.
3. SHEAR WALL WIDTH TO BE 4 FEET MINIMUM UNLESS SPECIFIED.



**GENERAL NOTES:**

1. PLYWOOD EDGES TO BE BLOCKED AND NAILED AT 6" O.C. AND FIELD NAILED AT 6" O.C.
2. SHEAR WALLS TO BE CONSTRUCTED AT EACH CORNER OF THE STRUCTURE AT EACH FLOOR AND EVERY 24'-FEET OF WALL LENGTH AS MEASURED FROM THE EDGE OF THE BUILDING TO THE CENTER OF THE ASSEMBLY.



**Accessory Dwelling Plans:**  
 Pennington Partners, LLC  
 900 Tuckertown Road  
 South Kingstown, Rhode Island  
**Shearwall Notes & Details**

Title:

Note:  
 All Construction Shall Comply With The International Building Codes, Current Edition

Revisions:

Project No.  
 21411

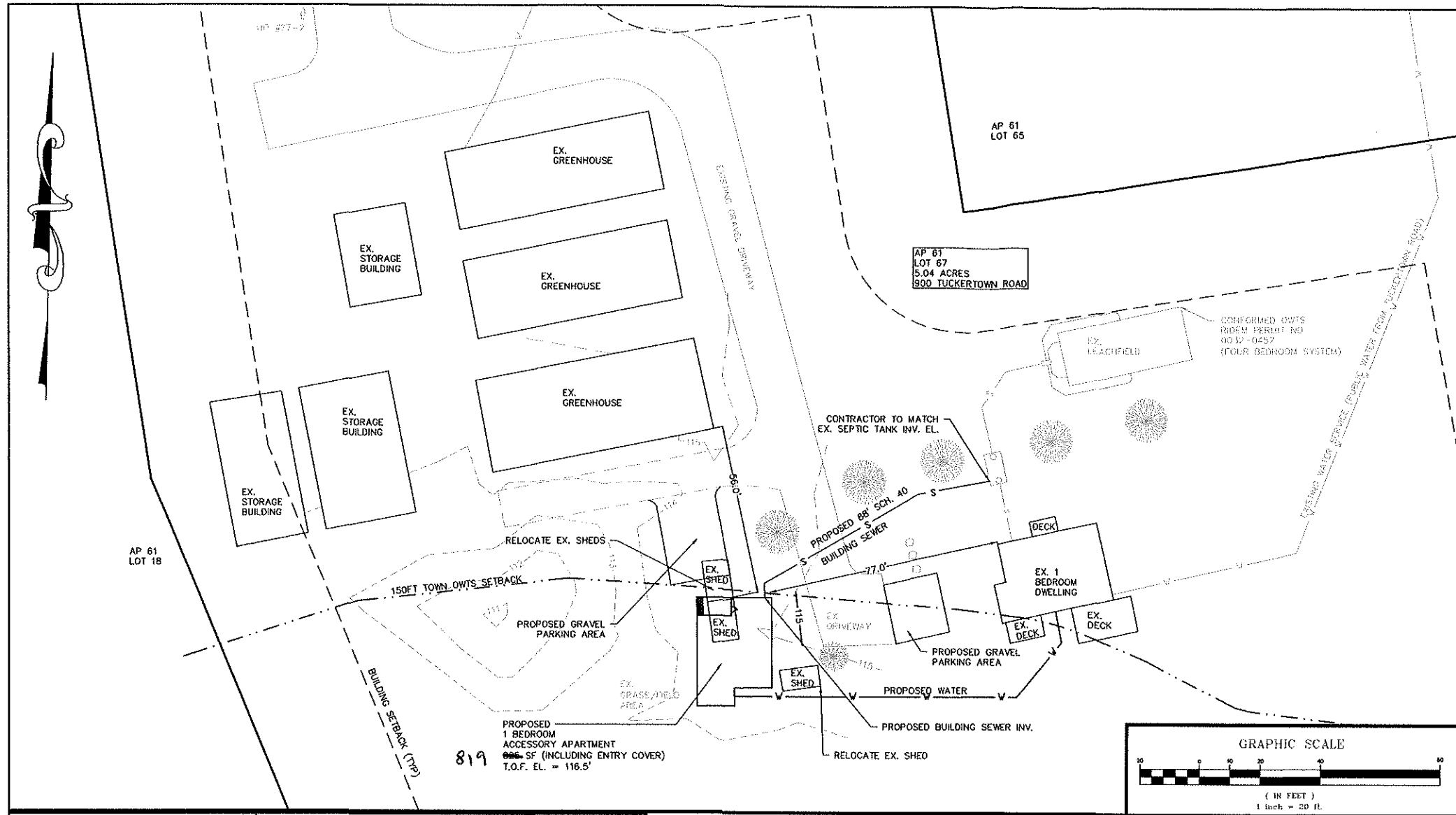
Date:  
 August 27, 2021

Scale:  
 1/4" = 1'-0"

Sheet No.

A4

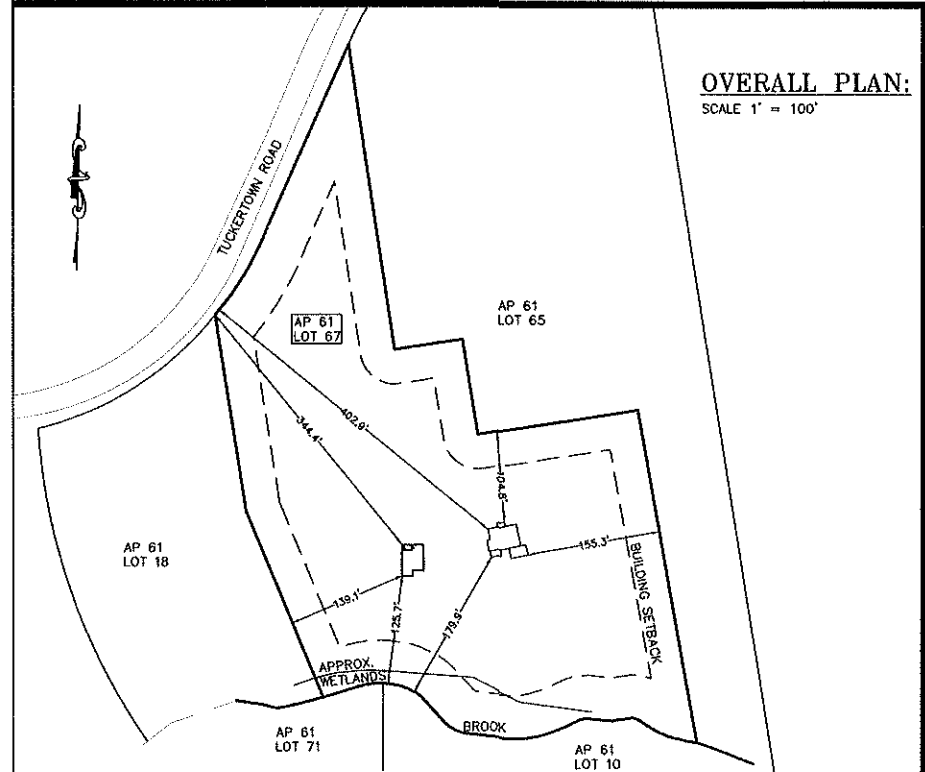
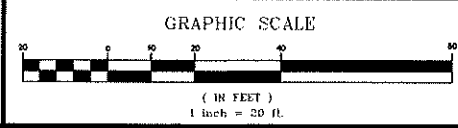
Sheet 4 Of 4



**SITE LOCUS**  
NOT TO SCALE

**LEGEND:**

PROPERTY PERIMETER	—
ABUTTER LINE	---
EXISTING CONTOUR	- - - - -
EXISTING HEDGE	— · — · —
UTILITY POLE	○
EXISTING TREE	●
EXISTING WATER LINE	— W —
EXISTING SEWER LINE	— S —
WETLAND	— W —
WETLAND 150FT SETBACK	— W —
PROPOSED CONTOUR	- - - - -
PROPOSED SEWER LINE	— S —
PROPOSED WATER LINE	— W —
EXISTING BROOK	— W —



**OVERALL PLAN:**  
SCALE 1" = 100'

**PLAN REFERENCE:**

DRAWING TITLED "AS-BUILT SEPTIC SYSTEM AND SITE PLAN FOR PENNINGTON PARTNERS, PROPERTY LOCATED AT TUCKERTOWN ROAD, SOUTH KINGSTOWN, RI" ASSESSOR'S PLAT 61, LOT 67 BY JOHN LAWLESS JR, PE 71 CORONADO STREET JAMESTOWN, RI 02835 TEL: 401-423-9999 DATE: 09/14/04 SCALE 1" = 30' PROJECT ID: 219 DRAWING NO: B-1

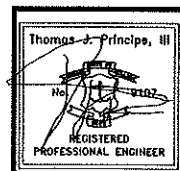
**ZONING:**

ZONE: R200  
MIN. LOT AREA = 200,000 S.F.  
MIN. FRONTAGE & LOT WIDTH = 70 FT  
MIN. FRONT YARD SETBACK = 50 FT  
MIN. SIDE YARD SETBACK = 40 FT  
MIN. REAR YARD SETBACK = 50 FT  
MAXIMUM BUILDING LOT COVERAGE = 20%  
MAXIMUM BUILDING HEIGHT = 35'  
MAXIMUM ACCSY. BUILDING HEIGHT = 20'

**SEPTIC SYSTEM NOTE:**

THE EXISTING ON-SITE WASTEWATER TREATMENT SYSTEM (OWTS) AS APPROVED AND CONFORMED BY THE RIDEM (#0032-0457) IS SUITABLE FOR A 4-BEDROOM USE BASED ON SAID APPROVAL. THE EXISTING DWELLING ON THE PROPERTY IS DOCUMENTED AS A ONE-BEDROOM DWELLING WITH THE TOWN OF SOUTH KINGSTOWN. THE ADDITION OF A ONE-BEDROOM ACCESSORY APARTMENT WILL MAINTAIN CONFORMANCE WITH THE INTENDED DESIGN. IN ADDITION, THIS PROPERTY IS NOT LOCATED WITHIN AN OWTS CRITICAL RESOURCE AREA AND DOES OTHERWISE REQUIRE UPGRADES TO AN INNOVATIVE DENITRIFICATION SYSTEM.

**OWNER:**  
PENNINGTON PARTNERS, LLC



**PRINCIPLE COMPANY, INC.**  
ENGINEERING DIVISION  
PO BOX 2008  
TIVERTON, RI 02070  
401.816.5305  
www.PrincipleEngineering.com

**REVISIONS**

No.	DATE	BY	CHKD

**PROPOSED SITE PLAN**  
for  
**AP 61 LOT 67**  
**900 TUCKERTOWN ROAD**  
in  
**SOUTH KINGSTOWN, RHODE ISLAND**

SCALE: AS NOTED	SHEET NO: 1 of 1
DRAWN BY: NEC	DESIGN BY: NEC
DATE: 12/14/2021	CHECKED BY: JAR
PROJECT NO.: 0J-TUCKERTOWN	